

CITY OF WARRENVILLE  
DuPage County, Illinois

ORDINANCE NO. O2017-59

**ORDINANCE APPROVING PRELIMINARY AND FINAL PLAT OF SUBDIVISION,  
PRELIMINARY AND FINAL PLANNED UNIT DEVELOPMENT (PUD) SPECIAL USE  
PERMIT AND PUD EXCEPTIONS, VARIATIONS AND/OR SPECIAL APPROVALS  
FROM VARIOUS PROVISIONS OF THE WARRENVILLE ZONING AND SUBDIVISION  
CONTROL ORDINANCES, AND LOCAL STORMWATER MANAGEMENT  
ORDINANCE (STAFFORD PLACE SUBDIVISION)**

WHEREAS, Airhart Development, LLC (the "Applicant") has requested approval of a Preliminary and Final Plat of Subdivision, Preliminary and Final Planned Unit Development (PUD) Special Use Permit, and PUD exceptions, variations, and/or special approvals from various provisions of the Warrenville Zoning and Subdivision Control Ordinances, and local Stormwater Management Ordinance, which together would allow the approximately 4.3-acre, City-owned, Civic Center Redevelopment Site #1 to be redeveloped with a residential subdivision consisting of 27 new detached single family homes, along with associated stormwater management, water quality filtration, private open space, new public street, and private access drive improvements located on the southeast corner of Rockwell Street and Stafford Place, the southwest corner of Mount Street and Manning Avenue, and the northeast corner of Ray Street and Rockwell Street, and legally described as follows:

PARCEL 1

TRACT 1:

THE SOUTH HALF OF LOTS 12 AND 13, MEASURED ON THE LINE BETWEEN SAID LOTS, IN MOUNT'S SUBDIVISION OF PART OF LOT 2 IN BLOCK 1 OF RAY'S SUBDIVISION OF LOT 1 AND PART OF LOT 2 IN BLOCK 8 OF MANNING'S WARRENVILLE SUBDIVISION, IN SECTION 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, REFERENCE BEING HAD TO THE PLAT OF MOUNT'S SUBDIVISION RECORDED MAY 7, 1946 AS DOCUMENT NO. 497414 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 16, 1946 AS DOCUMENT NUMBER 512727, IN DUPAGE COUNTY, ILLINOIS.

TRACT 2:

04-35-107-042, -044, ~~-049~~ <sup>Surveyors error Am 10/31/2017</sup> -- 28W715 Mount Street

LOT 2 IN MUSSELMAN'S PLAT OF RESUBDIVISION, BEING A RESUBDIVISION OF VACATED RAILROAD AVENUE, VACATED ROCKWELL STREET, AND VACATED MOUNT STREET ALONG WITH PORTIONS OF WARRENVILLE PARK SUBDIVISION WARRENVILLE WINDOW COMPANY'S ASSESSMENT PLAT, RAY'S SUBDIVISION AND MOUNT'S SUBDIVISION OF PORTIONS OF SECTIONS 34 AND 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO

THE PLAT OF SAID MUSSELMAN'S PLAT OF RESUBDIVISION RECORDED MARCH 10, 1986 AS DOCUMENT R86-21786, IN DUPAGE COUNTY, ILLINOIS.

TRACT 3:

THE NORTH HALF (AS MEASURED ALONG THE WEST LINE) OF LOTS 12 AND 13 IN MOUNT'S SUBDIVISION OF PART OF LOT 2 IN BLOCK 1 OF RAY'S SUBDIVISION OF LOT 1 AND PART OF LOT 2 IN BLOCK 8 OF MANNING'S WARRENVILLE SUBDIVISION IN SECTION 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, REFERENCE BEING HAD TO THE PLAT OF MOUNT'S SUBDIVISION RECORDED MAY 7, 1946 AS DOCUMENT NO. 497414 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 16, 1946 AS DOCUMENT NUMBER 512727, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE EAST 42 FEET OF LOT 22 IN BLOCK 13 IN WARRENVILLE PARK SUBDIVISION OF PART OF SECTION 34 AND SECTION 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 12, 1926 AS DOCUMENT 217509, LYING NORTHERLY OF THE NORTH LINE OF LOT 4 IN BLOCK 1 IN RAY'S SUBDIVISION RECORDED DECEMBER 30, 1926 AS DOCUMENT 227243, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

LOT 3 IN MUSSELMAN'S PLAT OF RESUBDIVISION, BEING A RESUBDIVISION OF VACATED RAILROAD AVENUE, VACATED ROCKWELL STREET, AND VACATED MOUNT STREET ALONG WITH PORTIONS OF WARRENVILLE PARK SUBDIVISION WARRENVILLE WINDOW COMPANY'S ASSESSMENT PLAT, RAY'S SUBDIVISION AND MOUNT'S SUBDIVISION OF PORTIONS OF SECTIONS 34 AND 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID MUSSELMAN'S PLAT OF RESUBDIVISION RECORDED MARCH 10, 1986 AS DOCUMENT R86-21786, IN DUPAGE COUNTY, ILLINOIS

EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF MANNING AVENUE AND THE NORTHERLY RIGHT OF WAY LINE OF MOUNT STREET; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT OF WAY LINE OF SAID MOUNT STREET, SAID LINE ALSO BEING ALONG LOT 3 OF MUSSELMAN'S PLAT OF RESUBDIVISION, A DISTANCE OF 178.94 FEET; THENCE CONTINUING NORTHWESTERLY ALONG AN EXTENSION OF SAID LAST DESCRIBED COURSE, A DISTANCE OF 55.00 FEET; THENCE NORTHWESTERLY AT A DEFLECTION ANGLE TO THE RIGHT OF THE LAST DESCRIBED COURSE, 46 DEGREES 52 MINUTES 54 SECONDS, A DISTANCE OF 26.92 FEET; THENCE NORTHWESTERLY AT A DEFLECTION ANGLE TO THE RIGHT OF THE LAST DESCRIBED COURSE, 05 DEGREES 43 MINUTES 36 SECONDS, A DISTANCE OF 92.32 FEET TO A POINT, SAID POINT

BEING AN ANGLE POINT OF THE NORTHERLY LINE OF SAID LOT 3; THENCE NORTHEASTERLY ALONG SAID LOT 3 LOT LINE, A DISTANCE OF 90.00 FEET; THENCE SOUTHEASTERLY ALONG SAID LOT 3 LOT LINE, A DISTANCE OF 9.66 FEET; THENCE NORTHEASTERLY ALONG SAID LOT 3 LOT LINE, A DISTANCE OF 97.61 FEET; THENCE SOUTHEASTERLY ALONG SAID LOT 3 LOT LINE A DISTANCE OF 211.90 FEET TO A POINT, SAID POINT BEING ON THE WESTERLY RIGHT OF WAY LINE OF MANNING AVENUE AFORESAID; THENCE SOUTHWESTERLY ALONG SAID WESTERLY RIGHT OF WAY LINE OF MANNING AVENUE, CURVING TO THE LEFT AND HAVING A RADIUS OF 756.00 FEET, AND ARC DISTANCE OF 70.08 FEET TO THE POINT OF BEGINNING, AND

ALSO EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOW:

COMMENCING AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF MANNING AVENUE AND THE NORTHERLY RIGHT OF WAY LINE OF MOUNT STREET; THENCE NORTHWESTERLY ALONG THE NORTHERLY RIGHT OF WAY LINE OF SAID MOUNT STREET, SAID LINE ALSO BEING ALONG LOT 3 OF MUSSELMAN'S PLAT OF RESUBDIVISION, A DISTANCE OF 178.94 FEET; THENCE CONTINUING NORTHWESTERLY ALONG AN EXTENSION OF SAID LAST DESCRIBED COURSE, A DISTANCE OF 55.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING WESTERLY ON THE WESTERLY EXTENSION OF THE SOUTHERLY LINE OF SAID LOT 3, A DISTANCE OF 9.55 FEET; THENCE NORTHWESTERLY AT A DEFLECTION ANGLE TO THE RIGHT OF THE LAST DESCRIBED COURSE, 52 DEGREES 34 MINUTES 49 SECONDS, A DISTANCE OF 117.06 FEET TO THE NORTHERLY LINE OF SAID LOT 3; THENCE SOUTHEASTERLY ON SAID NORTHERLY LINE, 6.31 FEET TO A NORTHERLY CORNER OF SAID LOT 3; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF THE PREVIOUSLY DESCRIBED EXCEPTION NO., A DISTANCE OF 92.32 FEET TO AN ANGLE POINT IN SAID WESTERLY LINE; THENCE SOUTHEASTERLY AT A DEFLECTION ANGLE TO THE LEFT OF THE LAST DESCRIBED COURSE, 05 DEGREES 47 MINUTES 36 SECONDS, A DISTANCE OF 26.97 FEET TO THE POINT OF BEGINNING), ALL IN DUPAGE COUNTY, ILLINOIS

ALSO EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST WESTERLY CORNER OF LOT B IN ALBRIGHT PARK RE-SUBDIVISION, BEING A SUBDIVISION OF PART OF LOTS 2 AND 3 IN RAY'S SUBDIVISION RECORDED DECEMBER 30, 1925 AS DOCUMENT NUMBER 227243 AND PART OF LOT 2 IN BLOCK 8 IN MANNING'S WARRENVILLE SUBDIVISION RECORDED NOVEMBER 10, 1906 AS DOCUMENT NUMBER 89268 AND BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 29, 1986 AS DOCUMENT NUMBER R1986-052732; THENCE SOUTH 80 DEGREES 03 MINUTES 05 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT B, 24.64 FEET; THENCE NORTH 62 DEGREES 27 MINUTES 40

SECONDS EAST 64.60 FEET; THENCE SOUTH 27DEGREES 59 MINUTES 59 SECONDS EAST, 49.31 FEET TO THE NORTH LINE OF LOT 3 IN MUSSELMAN'S PLAT OF RE-SUBDIVISION RECORDED MARCH 10, 1986 AS DOCUMENT NUMBER R1986-052732 FOR A PLACE OF BEGINNING; THENCE CONTINUING SOUTH 27 DEGREES 59 MINUTES 59 SECONDS EAST, 49.28 FEET; THENCE NORTH 62 DEGREES 25 MINUTES 47 SECONDS EAST 64.52 FEET TO A CORNER OF SAID LOT 3; THENCE NORTH 80 DEGREES 03 MINUTES 05 SECONDS WEST 80.88 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4:

BEING A PART OF LOT B IN ALBRIGHT PARK RE-SUBDIVISION, BEING A SUBDIVISION OF PART OF LOTS 2 AND 3 IN RAY'S SUBDIVISION RECORDED DECEMBER 30, 1925 AS DOCUMENT NUMBER 227243 AND PART OF LOT 2 IN BLOCK 8 IN MANNING'S WARRENVILLE SUBDIVISION RECORDED NOVEMBER 10, 1906 AS DOCUMENT NUMBER 89268 AND BEING A PART OF THE NORTHWESTER QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 29, 1986 AS DOCUMENT NUMBER R1986-052732, DESCRIBED AS FOLLOWS; COMMENCING AT THE MOST WESTERLY CORNER OF SAID LOT B; THENCE SOUTH 80 DEGREES 03 MINUTES 05 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT B, 24.64 FEET FOR THE POINT OF BEGINNING; THENCE NORTH 62 DEGREES 27 MINUTES 40 SECONDS EAST 64.60 FEET; THENCE SOUTH 27 DEGREES 59 MINUTES 59 SECONDS EAST, 49.31 FEET TO THE NORTH LINE OF LOT 3 IN MUSSELMAN'S PLAT OF RE-SUBDIVISION RECORDED MARCH 10, 1986 AS DOCUMENT NUMBER R1986-052732; THENCE NORTH 80 DEGREES 03 MINUTES 05 SECONDS WEST 80.98 FEET ALONG SAID NORTH LINE TO SAID POINT OF BEGINNING, ALL IN THE CITY OF WARRENVILLE, DUPAGE COUNTY, ILLINOIS.

PARCEL 5:

THAT PORTION OF MOUNT STREET DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERN CORNER OF LOT 12 IN MOUNT'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1946 AS DOCUMENT NO. 497414, SAID POINT ALSO BEING ON THE SOUTH LINE OF SAID MOUNT STREET AND ON AN EAST LINE OF LOT 3 IN MUSSELMAN'S PLAT OF RESUBDIVISION, ACCORDING TO THE PLAT OF SAID MUSSELMAN'S PLAT OF RESUBDIVISION RECORDED MARCH 10, 1986 AS DOCUMENT R86-21786, ALL BEING SUBDIVISIONS OF PART OF SECTION 35, TOWNSHIP 39 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS; THENCE NORTH 09 DEGREES 43 MINUTES 52 SECONDS EAST ALONG SAID EAST LINE, 65.77 FEET TO THE NORTH LINE OF SAID MOUNT STREET; THENCE SOUTH 80 DEGREES 07 MINUTES 11 SECONDS EAST ALONG SAID NORTH LINE 21.39 FEET; THENCE SOUTH 25 DEGREES 28 MINUTES 27 SECONDS EAST 80.46 FEET TO SAID SOUTH LINE OF MOUNT STREET; THENCE NORTH 80 DEGREES 14 MINUTES 32 SECONDS WEST ALONG SAID SOUTH LINE 67.78 FEET TO THE PLACE OF BEGINNING.

P.I.N.s: 04-35-107-021, 04-35-107-022, and 04-35-107-042, 04-35-107-044,  
04-35-107-050, and 04-35- 107-051

(hereinafter referred to as the "Subject Property"); and

WHEREAS, pursuant to the provisions of the Zoning Ordinance of the City of Warrenville, the Warrenville Plan Commission duly called, noticed and held a public hearing on July 20, 2017, which was continued to August 24, 2017, relating to said application and subsequently recommended that the City Council conditionally approve the petition relating to the Subject Property as hereinafter set forth; and

WHEREAS, the Mayor and City Council find and hereby declare that it is in the best interests of the City and its residents to accept the recommendations of the Plan Commission as set forth hereinbelow;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF WARRENVILLE, DU PAGE COUNTY, ILLINOIS, AS FOLLOWS:

SECTION ONE: The foregoing recitals shall be, and are hereby incorporated as findings of fact as if fully set forth herein.

SECTION TWO: In accordance with the requirements of the Warrenville Zoning Ordinance and the recommendation of the Plan Commission, in connection with the conditional approval of the Preliminary and Final Planned Unit Development (PUD) Special Use Permit for the Subject Property, provided that the project is implemented and operated in substantial conformance with the provisions of this ordinance and the codes of the City, the City Council hereby finds as follows:

1. SUPERIOR DESIGN. The PUD represents a more creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable zoning district and subdivision regulations, and solely on this basis modifications to the use and design standards established by such regulations are warranted.

The City Council finds that the Subject Property would be resubdivided and developed with a 27-single family detached home subdivision with coordinated vehicular and pedestrian access, and a centralized engineered stormwater management system. The subdivision design incorporates Stormwater Management Best Management Practices to reduce stormwater runoff volume and promote infiltration. The proposed level of landscaping meets and in some cases exceeds minimum requirements of the Zoning Ordinance. The landscaping design is both aesthetically pleasing and functional. The buildings would be constructed of high-quality materials and have significant

architectural detail incorporated into the exterior elevations. The proposed residential community offers a "low maintenance" lifestyle, where the private drives and common space elements would be maintained by the Home Owners Association. The project would provide housing products that are either limited or not currently available in the City of Warrentville. The variety of housing types include Cottage Row Homes, Garden Homes, as well as traditional single family homes proposed along Ray Street. If implemented in substantial conformance with the submitted Preliminary and Final PUD plans and all conditions and recommendations outlined in this Ordinance, the City Council finds that the proposed PUD represents a more creative approach and incorporates a higher standard of design and amenity than that which could be achieved under otherwise applicable zoning district and subdivision regulations.

2. MEETS PUD REQUIREMENTS. The PUD meets the requirements for Planned Unit Developments set forth in this Ordinance, and no modifications to the use and design standards otherwise applicable are allowed other than those permitted herein.

The City Council finds that with the exception of the PUD exceptions and Subdivision Ordinance variance for reduced ROW width requests outlined herein, the proposed development complies with the applicable subdivision design standards, zoning, and PUD requirements. Provided the various proposed PUD plans and documents listed herein are implemented in accordance with the terms and conditions outlined in this Ordinance, the proposed project will satisfy the Planned Unit Development requirements set forth in the Warrentville Zoning Ordinance and would result in a high quality, creative, and coordinated residential development.

3. CONSISTENT WITH CITY PLAN. The PUD is generally consistent with the objectives of the City Comprehensive Plan, as viewed in light of any changed conditions since its adoption.

The City Council finds that the proposed land use is consistent with the current R-5 zoning and anticipated use on the Subject Property, as expressed by the community and documented in the 2007 Old Town/Civic Center Subarea Plan. The proposed project would provide a housing type that is limited or not available in the City of Warrentville. The subdivision layout allows for an efficient design for public infrastructure and provides desirable public pedestrian connections and open space amenities. The proposed PUD is consistent with the objectives of the Comprehensive Plan.

4. PUBLIC WELFARE. The PUD will not be detrimental to the public health, safety, morals, or general welfare.

The City Council finds that if the proposed PUD is approved and implemented in conformance with the terms and conditions outlined in this Ordinance, the project would not be detrimental to the health, safety and welfare of the general public.

5. COMPATIBLE WITH ENVIRONS. Neither the PUD nor any portion thereof will be injurious to the use and enjoyment of other properties in its vicinity, seriously impair property values or environmental quality in the neighborhood, nor impede the orderly development of surrounding property.

The proposed subdivision would be serviced by a new public road and a system of private drives, providing safe and coordinated access to the homes within the subdivision. Each single family home lot provides four parking spaces, as required by the City's Zoning Ordinance. The subdivision would implement Best Management Practices for stormwater runoff and infiltration. A new sidewalk system would provide public pedestrian connections within the subdivision and to the existing sidewalk system along Manning, Stafford, and Rockwell. If the project is implemented in substantial conformance with the submitted Preliminary and Final PUD documents and terms and conditions outlined in this Ordinance, the proposed development will not be injurious to the use and enjoyment, or negatively impact the value, of nearby properties.

6. NATURAL FEATURES. The design of the PUD is as consistent as practical with the preservation of natural features of the site such as flood plains, wooded areas, steep slopes, natural drainage ways, or other areas of sensitive or valuable environmental character.

The City Council finds that the engineering design of the proposed development works with the existing grade, where possible. The development incorporates Best Management Practices to improve water filtration and create an amenity in the subdivision. If the project is implemented in substantial conformance with the submitted Preliminary and Final PUD documents and terms and conditions outlined in this Ordinance, it would be respectful of the existing environmental character of the area.

7. CIRCULATION. Streets, sidewalks, pedestrian ways, bicycle paths, off-street parking, and off-street loading as appropriate to the planned land uses are provided. They are adequate in location, size capacity, and design to ensure safe, efficient circulation of automobiles, trucks, bicycles, pedestrians, fire trucks, garbage trucks, and snow plows as appropriate, without blocking traffic, creating unnecessary pedestrian-vehicular conflict, creating unnecessary through traffic within the PUD, or unduly interfering with the safety or capacity of adjacent streets.

The City Council finds that access to the subdivision is provided via a new proposed public road (extension of Mount Street) and a system of private drives. The proposed PUD plans provide for an extensive sidewalk system that not only acts as an amenity within the subdivision, but also provides important links between different sections of the existing public sidewalk system in this area of the community. As designed, the project should not have an undue negative impact on the surrounding public sidewalk, parking, and street system in this area of the Civic Center.

8. **OPEN SPACES AND LANDSCAPING.** The quality and quantity of public and common open spaces and landscaping provided are consistent with the higher standards of design and amenity required of a PUD. The size, shape, and location of a substantial portion of the total public and common open space provided in residential areas render it useable for recreation purposes.

The City Council finds that the open space includes landscaped areas and pedestrian walkways that allow for both active and passive recreational uses and enhance to the area's amenities. Naturalized components of the open space include landscaping design that works in concert to provide aesthetic and functional value. The amount of landscaping illustrated on the proposed PUD Landscape Plan meets or exceeds the minimum requirements of the Warrentville Zoning Ordinance. Overall, the open space and landscape amenities proposed in this project are consistent with the higher standards of design and amenity required of a PUD.

9. **COVENANTS.** Where individual parcels are to be later sold, adequate provision has been made in the form of deed restrictions, homeowners or condominium association, or the like for:
  - a. The preservation and maintenance of any open spaces, thoroughfares, utilities, water retention or detention areas, and other common elements not to be dedicated to the City or another public body.
  - b. Such control of the use and exterior design of individual structures, if any, as is necessary for continuing conformance to the PUD Plan, such provision to be binding on all future ownership.

The City Council finds that the Applicant has submitted a Declaration of Covenants and Restrictions, which establishes the governing rules, ownership and maintenance obligations for the subdivision, common space and elements. The Declaration would be recorded with the DuPage County Recorder's Office, together with the Final Plat of Subdivision. The Covenants for this project will provide for the efficient and appropriate maintenance of all private improvements in this subdivision, and effectively control the exterior design and improvement of structures in the subdivision.

10. **PUBLIC SERVICES.** The land uses, intensities, and phasing of the PUD are consistent with the anticipated ability of the City, the school districts and other public bodies to provide and economically support police and fire protection, water supply, sewage disposal, schools, and other public facilities and services without placing undue burden on existing residents and businesses.

The City Council finds that the proposed Preliminary and Final PUD plans illustrate residential development, which is consistent with the anticipated land use and intensity on the Subject Property. The proposed development will not have an undue effect or inordinately high demand on City, Fire Protection, Police, or Public Works services.

11. PHASING. Each development phase of the PUD can, together with any phases that precede it, exist as an independent unit that meets all of the foregoing criteria and all other applicable regulations herein, even if no subsequent phase should ever be completed. The provision and improvement of public or common area improvements, open spaces, and amenities--or the provision of financial sureties guaranteeing their improvement--is phased generally proportionate to the phasing of the number of dwelling units or amount of non-residential floor area.

The City Council finds that no specific phasing is proposed for the subdivision. Per the Applicant, the construction would be phased in a manner that logically takes into account available utilities, emergency access, and stormwater design to serve the development.

SECTION THREE: The Mayor and City Council shall and do hereby conditionally approve a Special Use Permit subject to substantial compliance with the Preliminary and Final PUD Plans in the R-5 zoning district and the PUD exceptions/variations/special approvals from various provisions of the Warrenville Zoning Ordinance, Subdivision Control Ordinance, and local Stormwater Management Ordinance, which together would allow the approximately 4.3-acre, City-owned, Civic Center Redevelopment Site #1 to be redeveloped with a residential subdivision consisting of 27 new detached single family homes, along with associated stormwater management, water quality filtration, private open space, new public street, and private access drive improvements on the Subject Property. In conjunction with the aforesaid approvals, the following PUD exceptions/variations/special approvals are hereby granted:

1. Reduce minimum 7,000-square foot lot size and 50-foot lot minimum lot width required in R-5 zoning district under Zoning Ordinance Table 4A. As illustrated on the Applicant's plans, the proposed minimum lot size and width along Stafford Place and Rockwell Street frontages is 2,280 square feet and 30 feet. Lots with frontage on the proposed new public street have a minimum size of 5,950 square feet and minimum width of 43 feet. The proposed three lots fronting Ray Street would comply with the minimum 7,000-square foot lot size required in the underlying R-5 zoning district. Lot 2 would have a reduced width of 49.6 feet. The width of corner Lot 1 would be reduced from 60 to 50 feet.
2. Reduce 30-foot front, corner side, and rear yard building setbacks required under Zoning Ordinance Table 4A. Proposed setbacks are as follows:

	Front Yard	Corner Side Yard	Rear Yard
Cottage Homes	16 feet, provided front porches would be setback ten feet from front property line	Ten feet (Lots 22 and 23)	18.5 feet
Garden Homes	15 feet, provided front porches would be setback ten feet and garages would be	N/A	25 feet, provided rear yard setback on the northwest corner of Lot 14 would be reduced by

	setback 20 feet from front property line		approximately five additional feet. Decks would be setback 13 feet from rear property line.
Ray Street Homes	30 feet, provided front porches would be set back 20 feet from front property line	Five feet along Rockwell Street	30 feet

3. Reduce 30-foot perimeter building setback required under Zoning Ordinance Section 8.D.6. The proposed setbacks are outlined in the above Table.
4. Reduce five-foot interior side yard building setback required under Zoning Ordinance Table 4A. As proposed, interior side yard setback on Lots 15 through 27 would be reduced to 3.0 feet.
5. Increase 32-foot maximum building height allowed under Zoning Ordinance Table 4A to 36 feet.
6. Increase 34% maximum lot coverage allowed under Zoning Ordinance Table 4A to approximately 46% on Cottage Homes lots, 45% on Garden Homes lots, and up to 40% on Ray Street lots.
7. Exempt project from the increased corner lot width requirements of footnote (n) to Zoning Ordinance Table 4A.
8. Increase 25% maximum lot coverage allowed under Zoning Ordinance Section 8.D.5. Lot coverage breakdown is provided in item #6 above.
9. Allow for a Post Construction Best Management Practices (PCBMP) basin with varying slopes including 3:1, which would be appropriate for the site and allow for the proposed native planting design.

**SECTION FOUR:** The City shall and does hereby conditionally approve the revised Final Plat of Subdivision prepared by Engineering Resource Associates, dated August 11, 2017, attached hereto as Exhibit A and made a part hereof, subject to the conditions set forth in this Ordinance.

**SECTION FIVE:** The approvals set forth in Sections Three and Four of this Ordinance are expressly contingent upon the development of the Subject Property being in compliance with the following:

- A. The codes and ordinances of the City, subject to any variation, exception or other relief granted in this Ordinance.
  
- B. Subject to the conditions set forth in this Ordinance, the Subject Property shall be developed in accordance with the following plans and documents (collectively referred to hereinafter as the “Preliminary/Final PUD Plans”), which Preliminary/Final PUD Plans are hereby approved:
  - 1. General Application dated 6/12/17, signed by Court Airhart.
  - 2. Application Form D dated 6/12/17, signed by Court Airhart.
  - 3. Consultants’ Contact Information, stamped received 6/12/17.
  - 4. List of Property Owners within 250 feet, stamped received 6/12/17.
  - 5. Project Narrative, stamped received 6/12/17.
  - 6. Association Covenants prepared by Richard Guerard, stamped received 6/12/17.
  - 7. ALTA/NSPS Land Title Survey and Legal Description prepared by Engineering Resource Associates, Inc., dated 5/25/17.
  - 8. Soil Boring Report prepared by TSC, dated 5/14/15.
  - 9. Architectural Elevations prepared by Airhart Construction: Macrae 2-story dated 3/2/17, Chestnut Hill dated 3/12/17, Hemsley 2-story dated 3/17/17, Leyland dated 4/3/17, St. James dated 3/7/17, McAlister dated 10/7/11, McAlister Cape Cod dated 10/7/11, McAlister Prairie dated 7/12/16, McAlister, undated.
  - 10. Final Plat of Subdivision of Stafford Place prepared by Engineering Resource Associates, Inc., sheets 1-2, dated 8/11/17.
  - 11. 2017-08-14 Final Engineering Improvement Plans Stafford Place prepared by Engineering Resource Associates, Inc., sheets 1-15, dated 8/11/17.
  - 12. Declaration for Stafford Place HOA prepared by Guerard & Krasner, LLC, stamped received 8/14/17.
  - 13. McAlister roof terrace and rear balcony example prepared by Airhart Construction, dated 7/26/17.

14. McAlister roof terrace example prepared by Aihart Construction, dated 7/26/17.
15. Declaration of Landscape Maintenance Agreement and Covenant, stamped received 8/14/17.
16. Landscape Master Plan prepared by Airhart Construction, sheets L-1-L-3, dated 8/2/17.
17. Native Planting Plan prepared by Engineering Resource Associates, Inc., sheet 1-1, dated 8/11/17.
18. Benes Review Response Letter prepared by Engineering Resource Associates, Inc., dated 8/11/17.
19. Revised Stormwater Report prepared by Engineering Resource Associates, Inc., dated 8/11/17.
20. Community Development Review Response Letter prepared by Engineering Resource Associates, Inc., dated 7/27/17.
21. Driveway Slope Calculation Exhibit prepared by Engineering Resource Associates, Inc., dated 8/9/17.
22. DuPage County Stormwater Management Certification Application prepared by Court Alrhart, stamped received 8/14/17.
23. Engineer's Opinion of Probable Costs prepared by Engineering Resource Associates, Inc., dated 8/11/17, stamped received 8/14/17.
24. Notice of Intent for General Permit to Discharge Storm Water Associated with Construction Site Activities prepared by Airhart Development, LLC, stamped received 8/14/17.
25. IEPA Schedule A/B Sewer Service Connections/Publicly Owned or Regulated Sewer Extensions, stamped received 8/14/17.
26. IEPA Application for Construction/Operation Permit Approval WPC-PS-1 prepared by Airhart Development, LLC, stamped received 8/14/17.
27. IEPA Division of Public Water Supplies Application for Construction Permit, stamped received 8/14/17.

28. IEPA Division of Public Water Supplies, Permit Section Schedule B – Water Main Construction, stamped received 8/14/17.
  29. IEPA Division of Public Water Supplies, Permit Section Schedule A – Engineer’s Cost Estimate, stamped received 8/14/17.
- C. Notwithstanding the foregoing, approval of the Final PUD Plans shall be subject to the following conditions:
1. Documents and Plans: The improvements on the Subject Property shall be performed in substantial conformance with the approved plans and documents.
  2. Consulting Civil Engineer (J.J. Benes and Associates) Review: The Applicant shall comply with the comments and recommendations outlined in the review Memo from consulting City Engineer J.J. Benes and Associates, dated August 23, 2017, attached hereto as Exhibit B and made a part hereof.
  3. “No Parking” Signs: Parking shall not be permitted on private drives (Outlots C and F) providing access to driveways on Lots 15 through 27. “No Parking” signs shall be posted along private drives (Outlots C and F).
  4. Draft Covenants: The final subdivision Covenants document shall include the following information:
    - a. Provisions prohibiting parking on private drives (Outlots C and F) and documenting the Association’s responsibility to post and maintain “No Parking” signs on private drives.
    - b. All referenced attachments.
  5. Final HOA Covenants: The final HOA Covenants Agreement shall be recorded by the City, together with the Final Plat of Subdivision.
  6. Window Well Covers: Protective covers capable of supporting a minimum of 250 pounds shall be installed on all window wells.
  7. Landscape Maintenance Plan, Calendar and Agreement: The provided Declaration of Landscape Maintenance Agreement and Covenant referencing the approved Final Landscaping Plan, Landscape Maintenance Plan and Maintenance Calendar shall be recorded by the City, together with the Final Plat of Subdivision.

8. Mailboxes: The final location and grouping of the mailboxes shall be (i) coordinated by the Applicant with the local U.S. Postal Service, and (ii) illustrated on the Final PUD Site and Landscape Plans.
9. Fees and Security Guaranteeing Completion of Public Improvements: The Applicant shall pay/submit all applicable review and inspection fees and the required security guaranteeing completion of public improvements prior to any permit issuance for this project.
10. DuPage County Traffic Impact Fee: The Applicant shall pay the DuPage County Traffic Impact Fee prior to the City's issuance of a building permit for each building in this project.
11. School, Library and Park District Impact Fees: Impact fees shall be paid at the time of building permit issuance for each building.

**SECTION SIX:** Should the Applicant fail to comply with any of the terms and conditions set forth herein or with the applicable codes and ordinances of the City, the approvals herein granted shall be immediately rendered null, void and of no further force and effect.

**SECTION SEVEN:** This Ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS 18th day of September, 2017.

AYES: Ald. Barry, Weidner, Bevier, Davolos, Aschauer, and Wilson

NAYS: Ald. Hoffmann

ABSENT: Ald. Goodman

APPROVED THIS 18th day of September, 2017.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

ATTACHMENTS:

EXHIBIT A: Revised Final Plat of Subdivision prepared by Engineering Resource Associates, dated August 11, 2017.

EXHIBIT B: Review Memo from the Consulting City Engineer J.J. Benes and Associates, dated August 23, 2017.

PUBLISHED IN PAMPHLET FORM BY  
AUTHORITY OF THE CITY COUNCIL  
OF THE CITY OF WARRENVILLE,  
DUPAGE COUNTY, ILLINOIS, THIS  
19 DAY OF Sept, 2017

\_\_\_\_\_  
CITY CLERK

**PLN:**

04-35-107-021
04-35-107-022
04-35-107-042
04-35-107-044
04-35-107-050
04-35-107-051

**LEGEND**

PROPERTY LINE	---
LOT LINE	---
EASEMENT LINE	---
SETBACK LINE	---
ZONE X	---
OTHER FLOOD AREAS	---

**ABBREVIATIONS**

A	ARC DISTANCE
AC	ACRE
CH	CHORD
CONC.	CONCRETE
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
N	NORTH
P.U.E.	PUBLIC UTILITY EASEMENT
R.A.D.U.S.	RADIUS
R.O.W.	RIGHT OF WAY
S.F.	SQUARE FEET
S.F.	SQUARE FEET
B.S.L.	BUILDING SETBACK LINE
DOC.	DOCUMENT
(XXX,XX)	RECORD DEED/INFORMATION MEASURED INFORMATION
XXXXXX	RECORD DEED/INFORMATION MEASURED INFORMATION

TYPICAL SETBACK DETAIL  
LOTS 1 - 3

TYPICAL SETBACK DETAIL  
LOTS 4 - 14

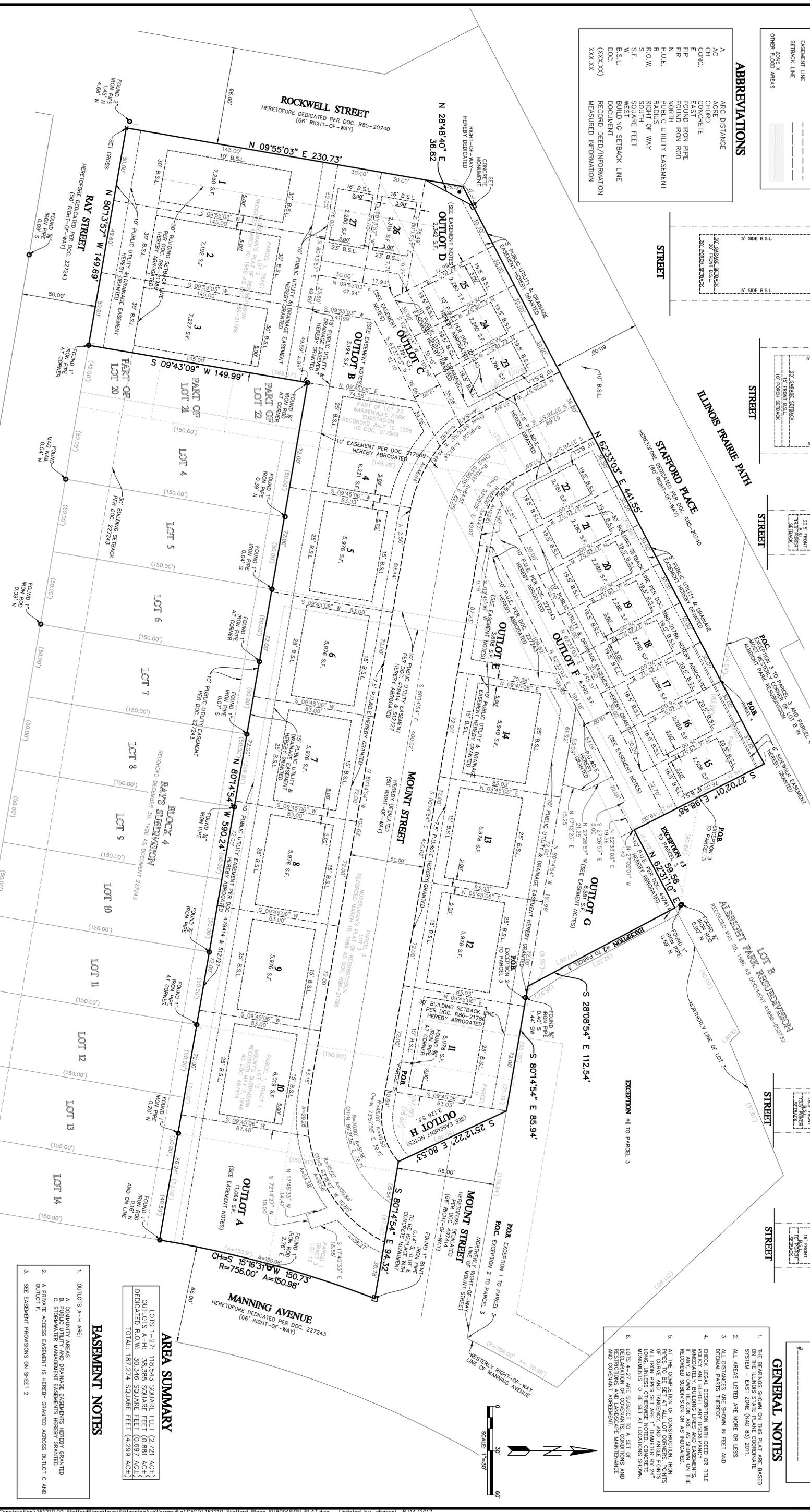
TYPICAL SETBACK DETAIL  
LOTS 15 - 17

TYPICAL SETBACK DETAIL  
LOTS 18 - 25

TYPICAL SETBACK DETAIL  
LOTS 26 - 27

# FINAL PLAT OF SUBDIVISION STAFFORD PLACE OF STAFFORD PLACE

PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



**GENERAL NOTES**

1. THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (NAD 83) 2011.
2. ALL AREAS LISTED ARE MORE OR LESS.
3. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
4. CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCIES. IF ANY SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
5. AT THE COMPLETION OF CONSTRUCTION, IRON PIPES TO BE SET AT ALL LOT CORNERS, POINTS OF CURVE AND PARALLEL, AND ANGLE POINTS LONG UNLESS OTHERWISE NOTED. CONCRETE MONUMENTS TO BE SET AT LOCATIONS SHOWN.
6. LOTS 4-27 ARE SUBJECT TO A SET OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND LANDSCAPE MAINTENANCE AND COVENANT AGREEMENT.

**AREA SUMMARY**

LOTS 1-27:	118,543 SQUARE FEET (2.721 AC±)
OUTLOTS A-H:	38,385 SQUARE FEET (0.881 AC±)
DEDICATED R.O.W.:	30,346 SQUARE FEET (0.697 AC±)
TOTAL:	187,274 SQUARE FEET (4.289 AC±)

**EASEMENT NOTES**

1. OUTLOTS A-H ARE:
- A. COMMUNITY AREAS
- B. PUBLIC UTILITY AND DRAINAGE EASEMENTS HEREBY GRANTED
- C. STORMWATER MANAGEMENT EASEMENTS HEREBY GRANTED
2. A PRIVATE ACCESS EASEMENT IS HEREBY GRANTED ACROSS OUTLOT C AND OUTLOT F.
3. SEE EASEMENT PROVISIONS ON SHEET 2.

**REVISIONS:**

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
6/11/17	CNS	REVISED PER CITY COMMENTS			

**ENGINEERING**

DESIGNED BY: TMN	35701 WEST AVENUE, SUITE 150	10 S. RIVERSIDE PLAZA, SUITE 875	2416 GALEN DRIVE
APPROVED BY: TMN	WARRENVILLE, ILLINOIS 60055	CHICAGO, ILLINOIS 60606	CHAMPAIGN, ILLINOIS 61821
	PHONE (630) 393-3060	PHONE (312) 474-7841	PHONE (217) 351-6288
	FAK (630) 393-2152	FAK (312) 474-6099	FAK (217) 355-1902

**AIRHART DEVELOPMENT, LLC**

**FINAL PLAT OF SUBDIVISION  
STAFFORD PLACE  
WARRENVILLE, IL**





cross section but not on the overland flow swale. The Weir A overflow detail does not specify what treatment is proposed for the weir.

6. Proposed street lighting is not clearly identified on the Utility Plan. Include the street lighting symbol in the legend. Add "(Typ.)" to the callout for "Proposed Street Light Warrenville Standard SL-01".
7. Include a separate lighting plan showing the proposed conduit and controller. This plan should also include lighting proposed as part of the City's Route 56 Streetscape project with a note indicating "By Others". There was some discussion of potentially utilizing the controller for that project to serve this project.
8. The existing street light and foundation in front of lot 16 that will be replaced by Public Works needs to be connected to the street lighting system for this subdivision. The proposed conduit must be depicted on the lighting plan, as it will be part of the lighting system for the subdivision.
9. There are two existing decorative lights at the library entrance on Mount Street. The one on the east side conflicts with the proposed gutter. Add proposed conduit to the proposed locations as depicted on the attached markup as these will be disconnected from the Library system and connected to the new City system. Public works will be responsible for moving the light poles and foundations.
10. Move the street light on the southeast corner of Stafford Place and Mount Street on the north side of the sidewalk. The stop sign on Mount should be mounted on its own pole.
11. Update City Lighting Standard SL-03 and SL-04 per attached markups.
12. The east side-yard of Unit 3 shall be provided with a swale graded to direct site runoff to the rear to Outlot B, and to the front to the Ray Street right-of-way.
13. Ray Street storm sewer location should be coordinated with the City's proposed design of the street which is currently underway.
14. Pavement patching should match existing asphalt depth but should be a minimum of 6" of asphalt.
15. Design/Locate the ComEd pedestals and conduit not to interfere with the storm sewer or overland drainage path behind units 4-10.
16. Outlot A and Outlot G overflow weir sections do not correlate with the grading contour elevations. Outlot A weir section shows a top of berm at 697.2, but the north side of the berm does not show a grading contour of 697. Also, Outlot G shows a straight elevation of 699.1 for the weir but the overflow side are sloped per the grading contours.
17. Label the 2 yr, 24 hour HWE of each VCBMP pond on the grading plan. Also label the 100 year HWE of each VCBMP pond on the grading plan. Also label the provided storage of each VCBMP pond on the grading plan.

18. In the Stormwater Report specify the required VCBMP volume and the provided total volume in each VCBMP pond.
19. In the Stormwater Report, include calculations showing the capacity (3.21 cfs) of the 12 inch pipe flowing east from existing catch basin structure 14.
20. All TR-20 runs should use a time increment of 0.1 hours.
21. The time of concentration of 51 minutes for overland flow swale in the back of lots 4-9 appears high. A time of concentration for unpaved overland flow with a slope of 0.006 ft/ft for a length of 500 feet is 32 minutes. Review the time of concentration calculation. Also explain how a time of concentration of 41 minutes was calculated for overland flow cross section A-A. Revise 100 year runoff computation as necessary.
22. The 3:1 slopes on the Outlot A basin are steeper than allowed. We understand a variance will be requested.
23. Include time of concentration calculations for the existing and proposed Southeast Corner Ponding Area. Existing time of concentration of 49 minutes (3.69 acres) and proposed time of concentration 23 minutes (0.33 acres) both appear high. Run the 1 hour, 2 hour and 3 hour duration storm events.
24. A 3 foot wide parkway is now shown on Mount Street. It is recommended that the street side elevation of the sidewalk be set 2 inches above the proposed top of curb in order to permit stormwater runoff to drain across the parkway and over the curb. At driveway locations the sidewalk elevation should be 0.24 feet above the top of depressed curb, providing an 8% driveway apron slope. The sidewalk elevation transition between driveway and 3' grassed parkway should be gradual and no steeper than 8%. Sidewalk cross slopes of 1.5% shall be maintained through the driveways and transitions.
25. The proposed driveway slope of Lot 10 is 10% between sidewalk and garage floor. Lower the overall elevation of the foundation/lot or the garage floor elevation to provide a driveway slope no greater than 8 percent.
26. Change the public watermain along Stafford east of Mount from an 8" to a 6". The public water main on Stafford Place currently terminates in a valve in vault in the 5' wide Drainage and Utility Easement at Unit 16. Adjust the watermain to a 45 degree bend towards the proposed location of the fire hydrant and place a valve vault in line with this main. Private water service easements for Unit 15 and 16 should come from this 45 degree watermain. A private water service easement appears to be necessary for both the Unit 15 and 16 water service, and should be added to the Final Plat of Subdivision.
27. Show the size of the proposed watermain on the Utility Plan.
28. Move watermain tag #8 to the new vault location.
29. Crossing Schedule tag #1 should be moved to the actual crossing location and pipe clearance verified. An additional storm sewer crossing of a sanitary sewer

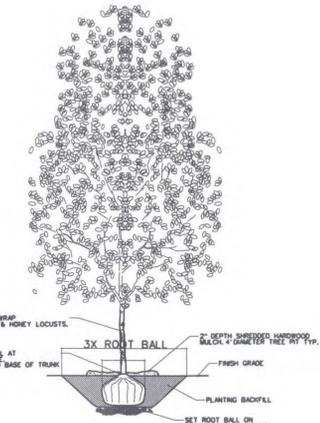
is located about 12 feet east of new sanitary manhole #4. Pipe clearances should be checked for this location.

30. Fire hydrant locations have been modified on the latest Utility Plan. Hydrant spacing along Ray Street at lots 1-3 is greater than 300 feet. The Fire Protection District should review the updated plans and fire hydrant locations.
31. A vision clearance triangle easement should be provided on Lot 1 to ensure adequate vision clearance is provided at the northeast corner of Ray and Rockwell Streets. The easement should be shown on the Final Plat of Subdivision, with triangle dimensions of 13' along Ray Street and 105' along Rockwell Street, measured from the southwest property corner of Lot 1. The landscape plan shows Arborvitae and Switchgrass that may obstruct the clearance triangle. See attached Vision Triangle Obstruction markup.
32. Call out restrictor sizes on restrictor manhole details.
33. In Tab 2, third paragraph clarify that the 1.15 feet of ponding water depth at the southeast corner of the property refers to existing conditions and specify the 100 year storm event.
34. On the VCBMP Treatment Area Map, identify and label the 730 square feet of existing impervious area on Mount Street that will be removed.
35. Explain how Lots 11 and 12 roof drainage will be directed to Outlot G. Existing drainage patterns show that Lots 11 and 12 flow easterly toward Mount Street. Can the side yard swales of these lots be directed south toward Outlot A to reduce the tributary area to the Outlot G pond which is adjacent to the library property?
36. A 3.34% grade break-over is shown at Station 10+30 on the Mount Street profile. This creates a pronounced bump for drivers entering and exiting Mount Street. We recommend revising the profile to specify a -1% downgrade from Station 10+11.51 to Station 10+30.00 (EI 704.42) and then -2.09% downgrade to the PVI Station 11+56.50 (EI 701.77). Provide a catch basin at the northeast corner of the Mount Street/Stafford intersection to intercept Stafford Street runoff before it runs down Mount Street.
37. Appropriate reverse turn warning signs with 10 mph advisory plaques are provided on the approaches to the Mount Street reverse turn between Outlots A and H. Turn warning signs with 15 mph advisory plaques should be provided on the approaches to the 70' radius Mount Street turn located near Outlot F.
38. The new storm sewer downstream of proposed catch basin 35 crosses Lot 11. Relocate the storm sewer to the Drainage and Utility easement or expand the easement to encompass the proposed sewer location.
39. The watermain on Stafford should be in a "City Watermain Easement" with appropriate provisions. Also, if the easement is specifically for City storm sewer only, then it should be in a "Storm Sewer Easement" with appropriate provision

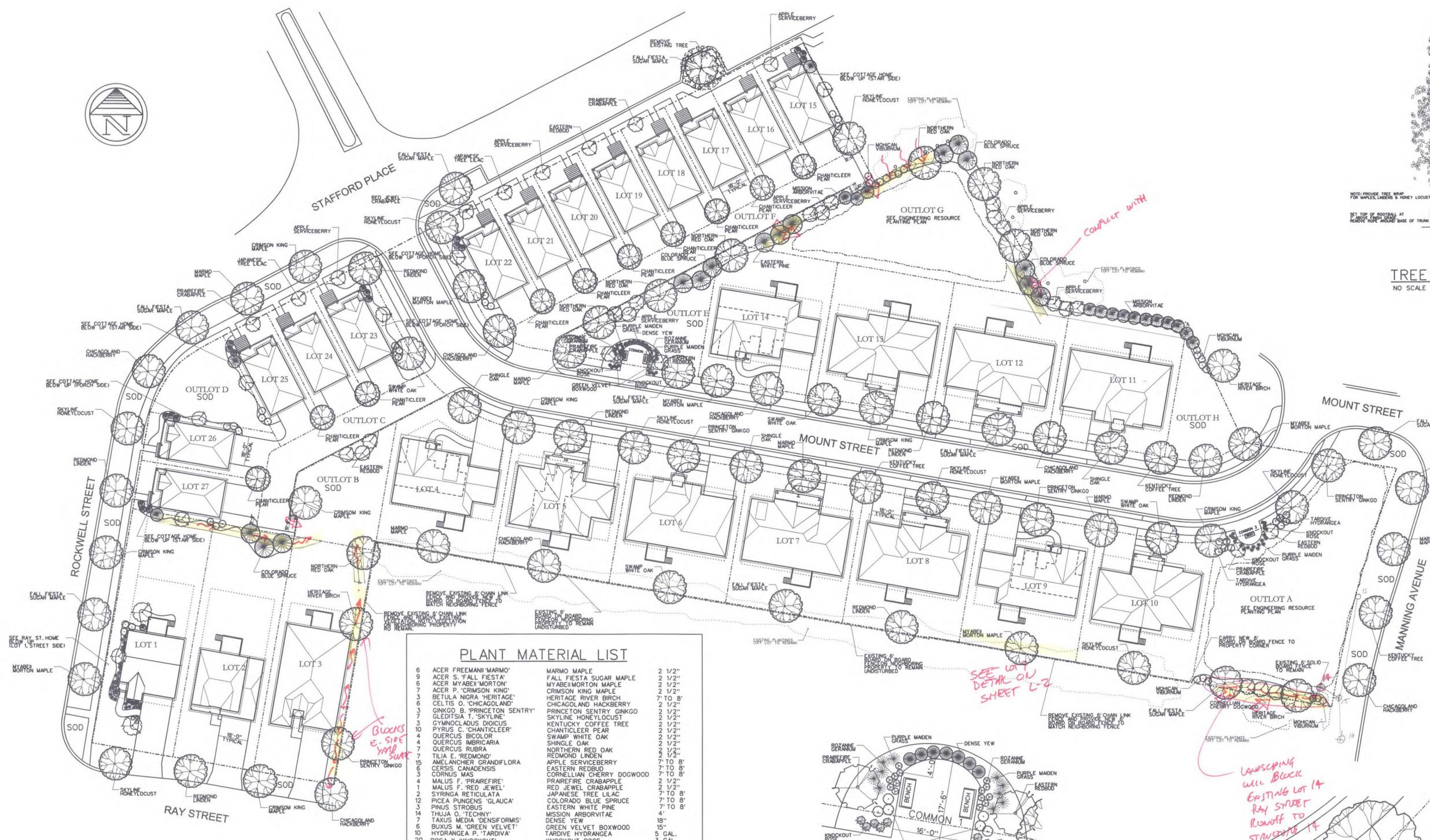
language. For example, this applies for the storm sewer between structure 41 and 42 outside of the ROW.

40. There are two existing water main valves near Outlot D and proposed Valve Vault 9. Both of the existing valves must be removed. This will require a water main shut down, removal of the existing pressure connection, and replacement with some new water main and a tee. Proposed Valve Vault 9 could be installed just after the tee.
41. There are two existing water main valves near Outlot D and proposed Valve Vault 9. The easterly of the two existing valves must be removed. Proposed Valve Vault 9 could be installed to replace the existing valve. The other existing valve appears to be a pressure connection for the existing stub that will be extended along Stafford Place and could be shutoff to allow extension of the main.
42. The proposed water main under Outlot A will need to be installed with adequate cover under the pond. It will be important for the underground contractor to either have the pond rough graded, or be given proposed top of pipe grades to ensure adequate cover over the top of the water main.
43. The fence on the library property should also be removed with the rest of the fence. This will take coordination with the Library District. There is no reason to leave this fence in place, unless the Library District wants it to remain for some reason.
44. Please note that the following information should be included in the sidewalk detail: one-half inch length synthetic fiber reinforced concrete shall be used, in accordance with ASTM C1116/C116M-06. Fibrous reinforcement shall be added at the rate of 1.5 pounds per cubic yard, or in accordance with project specific manufacturer's recommendations.

- end -



TREE PLANTING DETAIL  
NO SCALE



### PLANT MATERIAL LIST

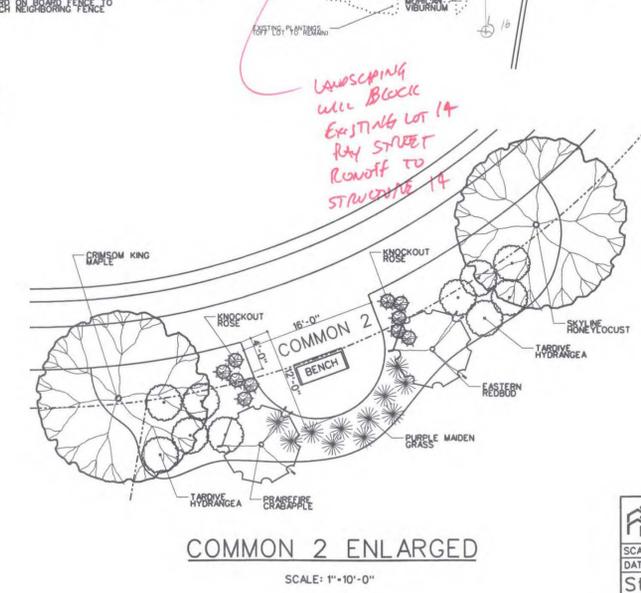
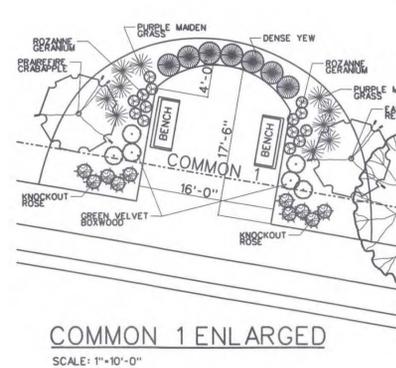
6	ACER FREEMANI 'MARMO'	MARMO MAPLE	2 1/2"
9	ACER S. 'FALL FIESTA'	FALL FIESTA SUGAR MAPLE	2 1/2"
9	ACER MYABENMORTON'	MYABENMORTON MAPLE	2 1/2"
7	ACER P. 'CRIMSON KING'	CRIMSON KING MAPLE	2 1/2"
3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	7' TO 8'
6	CELTIS O. 'CHICAGOLAND'	CHICAGOLAND HACKBERRY	2 1/2"
6	GINCKGO B. 'PRINCETON SENTRY'	PRINCETON SENTRY GINCKGO	2 1/2"
7	GLEDITSIA T. 'SKYLINE'	SKYLINE HONEYLOCUST	2 1/2"
3	GYMNOCALADUS DIOICUS	KENTUCKY COFFEE TREE	2 1/2"
10	PHYRUS E. 'CHANTICLEER'	CHANTICLEER PEAR	2 1/2"
4	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2"
4	QUERCUS IMBRICARIA	SHINGLE OAK	2 1/2"
7	QUERCUS RUBRA	NORTHERN RED OAK	3 1/2"
7	TILIA E. 'REDMOND'	REDMOND LINDEN	2 1/2"
15	AMELANCHIER GRANDIFLORA	APPLE SERVICEBERRY	7' TO 8'
6	CERIS CANADENSIS	EASTERN REDBUD	7' TO 8'
6	CORNUS MAS	CORNELIAN CHERRY DOGWOOD	7' TO 8'
4	MALUS F. 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	2 1/2"
11	MALUS F. 'RED JEWEL'	RED JEWEL CRABAPPLE	2 1/2"
2	SYRINGA RETICULATA	JAPANESE TREE LILAC	7' TO 8'
12	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	7' TO 8'
3	PINUS STROBUS	EASTERN WHITE PINE	7' TO 8'
14	THUJA O. 'TECHNY'	MISSION ARBORVITAE	4"
7	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	18"
6	BUXUS M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	15"
10	HYDRANGEA P. 'TARDIVA'	TARDIVE HYDRANGEA	5 GAL.
20	ROSA X 'KNOCKOUT'	KNOCKOUT ROSE	3 GAL.
19	VIORNIUM L. 'MOHICAN'	MOHICAN VIORNIUM	5 GAL.
14	GERANIUM S. 'ROZANNE'	ROZANNE GERANIUM	1 GAL.
21	MISCANTHUS 'PURPURESCENS'	PURPLE MAIDEN GRASS	1 GAL.

NOTES:  
 - SOD AREAS AS NOTED.  
 - PREPARE PERENNIAL AND GROUNDCOVER BEDS W/ 1 CY GARDEN COMPOST PER 100 SF ROTOTILLED TO 8" DEPTH (APPROX 2 CU.YD.).  
 - MULCH ALL TREE AND SHRUB PLANTINGS TO MAX. 3" & 2" MIN. DEPTH SHREDED HARDWOOD MULCH (APPROX. 45 CU.YD.).  
 - MULCH SHOULD NOT BE PILED UP AGAINST TRUNKS OF TREES OR SHRUBS.  
 - A COVER OF AT LEAST 6" OF TOPSOIL SHALL BE PROVIDED IN ALL TURF AREAS.  
 - A COVER OF AT LEAST 9" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING BEDS.

STREET TREE SPACING CALCULATION

R.O.W.	LIN. FT.	TREES REQ.	TREES PROVIDED
STAFFORD PLACE	400'	12	14
ROCKWELL STREET	250'	6	6
MOUNT STREET	1230'	31	35
MANNING AVENUE	155'	4	4
RAY STREET	150'	4	4

NOTE: NO ONE SPECIES SHALL COMPOSE MORE THAN 20% OF STREET TREE TOTAL.  
 NOTE: MAINTAIN A MINIMUM SPACING OF 160' FOR LARGE & 120' FOR SMALL TREES OF THE SAME SPECIES.

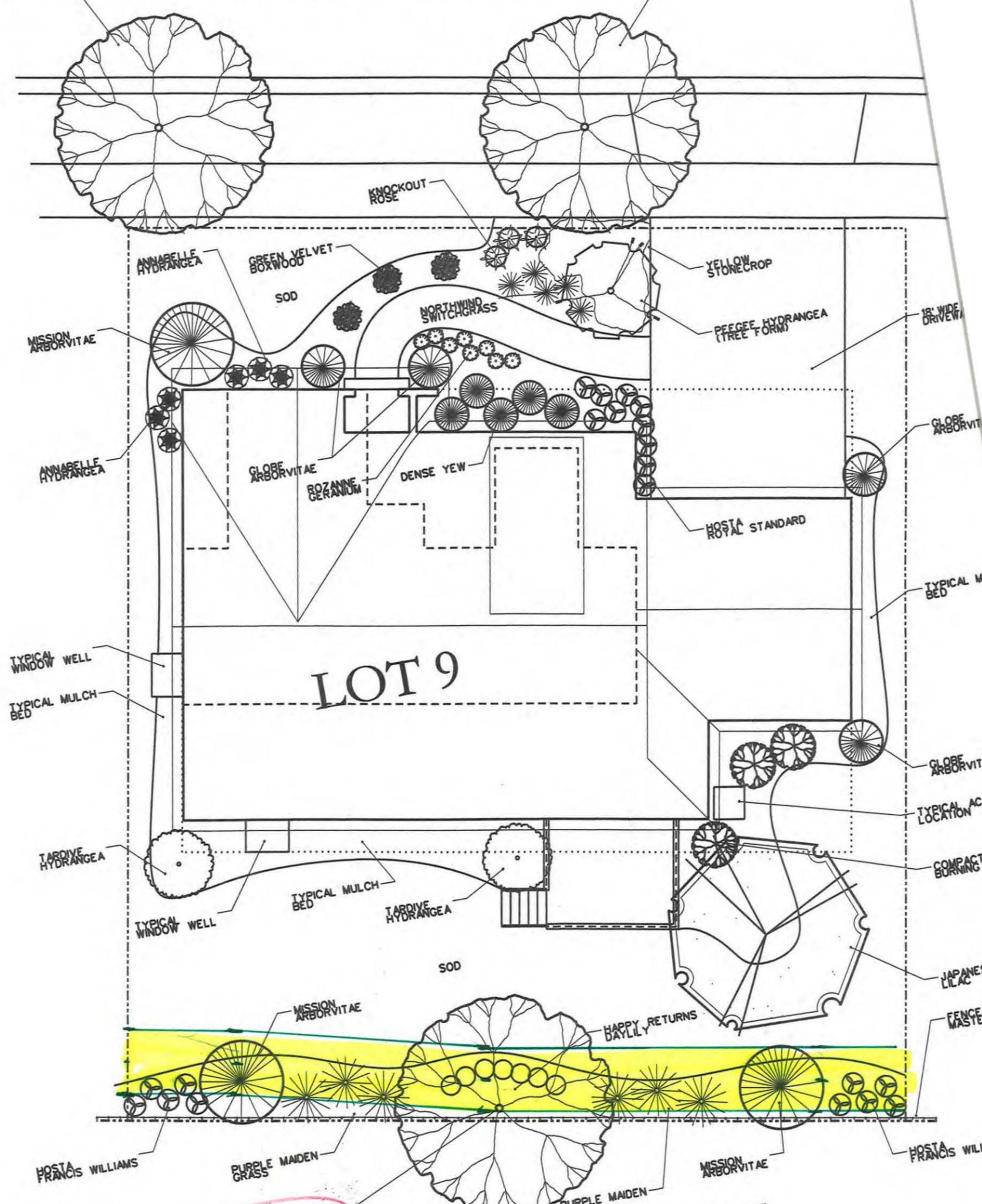


**AIRHART CONSTRUCTION**  
 600 E. ROOSEVELT RD. WEST CHICAGO, IL 60618 (630) 351-3000  
 SCALE: 1" = 30'-0" APPROVED BY: DRAWN BY: JCK  
 DATE: 8-2-17 REVISED: WARRENVILLE, IL  
 Stafford Place  
 Landscape Master Plan  
 DRAWING NUMBER: L-1

# MOUNT STREET

STREET TREE PER LANDSCAPE MASTER PLAN

STREET TREE PER LANDSCAPE MASTER PLAN



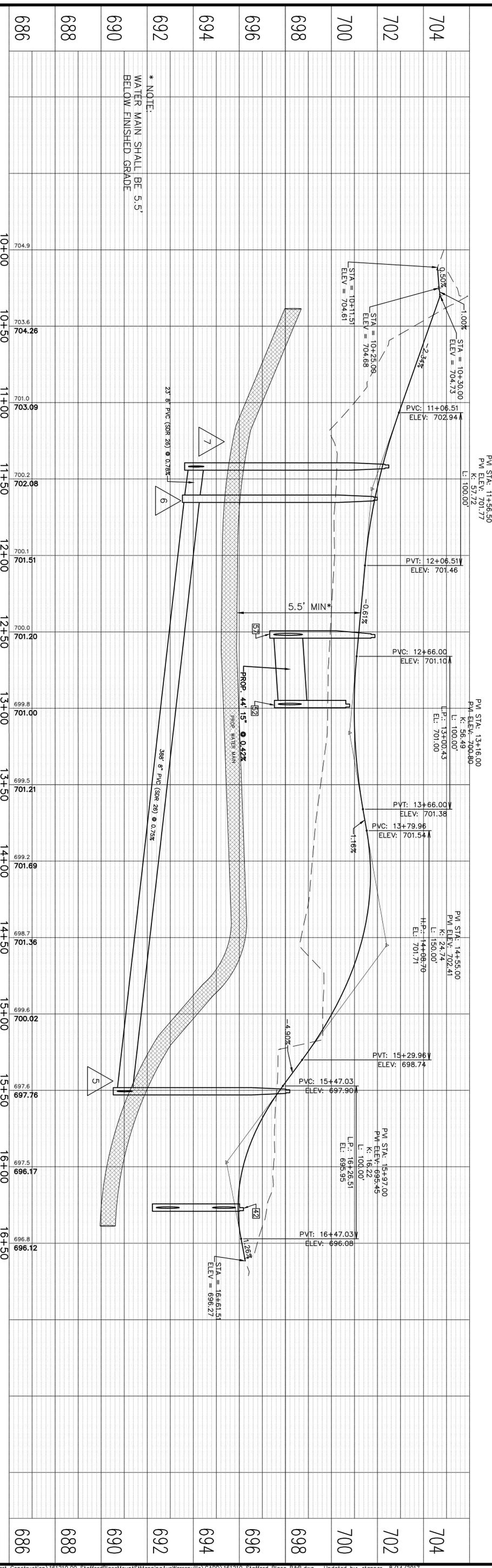
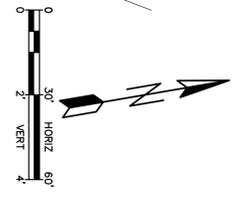
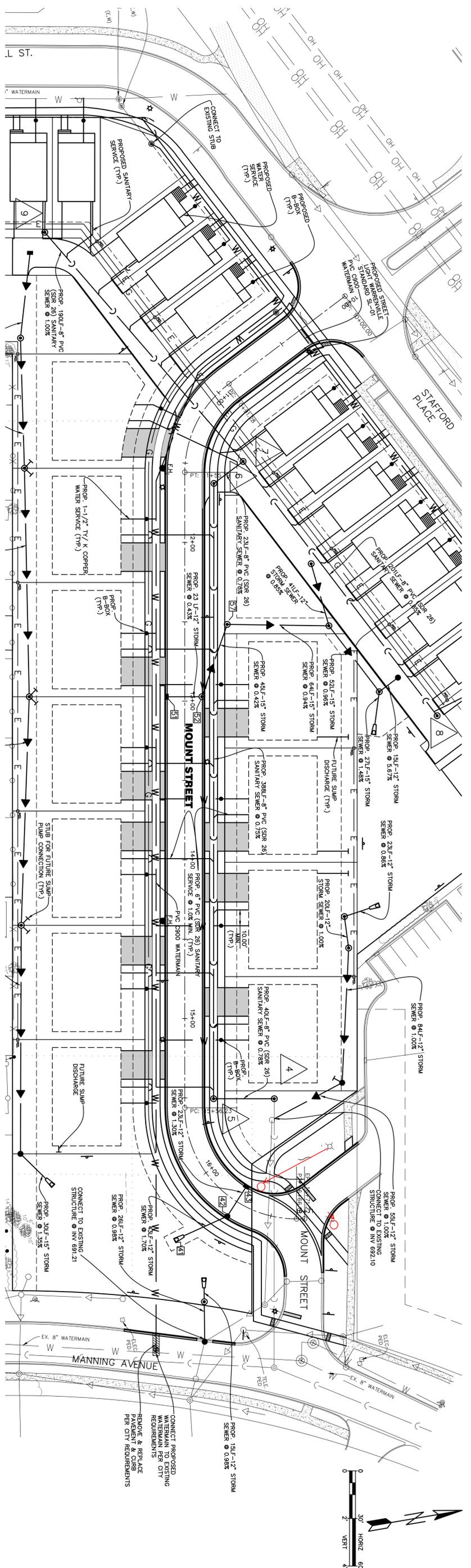
SHADE TREE PER LANDSCAPE MASTER PLAN  
 (EXISTING 20" TREE TO REMAIN PER DEMO PLAN)

TYPICAL GARDEN HOME  
 SCALE: 1"=10'-0"

PLANT MATERIAL LIST	
JAPANESE TREE LILAC	7' TO 8' 4" (TREE)
PEECEE HYDRANGEA	

NOTES:  
 - SOD AS PREPARED  
 - COMPACT BURNING  
 - MULCH SHRE  
 - MULCH A CO  
 - A CO

PER MASTER PLAN



\* NOTE:  
WATER MAIN SHALL BE 5.5'  
BELOW FINISHED GRADE

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
06/26/17	BL	PER OWNER COMMENTS			
08/11/17	RT	PER CITY COMMENTS			

DATE	BY	DESCRIPTION
	RT	DRAWN BY:
	MH	CHECKED BY:
	JC	APPROVED BY:

DATE	BY	DESCRIPTION
	RT	DRAWN BY:
	MH	CHECKED BY:
	JC	APPROVED BY:

SCALE	DATE	SHEET
1"=30'H, 1"=2'V	AUGUST, 2017	5 OF 15

**ENGINEERING**  
RESOURCE ASSOCIATES

35701 WEST AVENUE, SUITE 450  
WARRENVILLE, ILLINOIS 60055  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

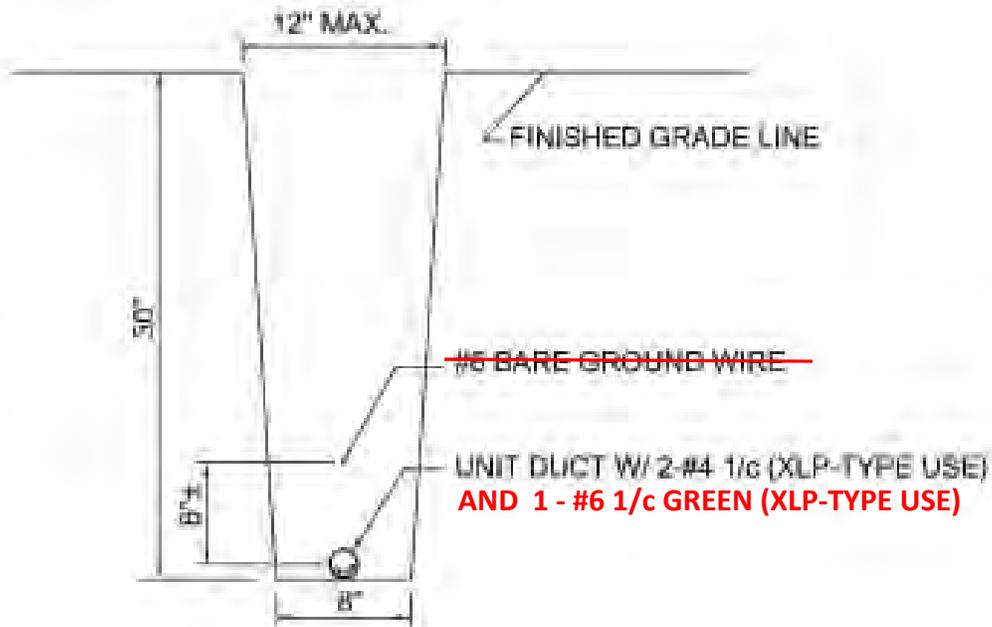
2416 GALEN DRIVE  
CHAMPAGNE, ILLINOIS 61821  
PHONE (217) 351-8288  
FAX (217) 355-1902

**AIRHART DEVELOPMENT, LLC**

**MOUNT STREET  
PLAN AND PROFILE  
STA. 10+00 TO STA. 16+71.22**

SCALE: 1"=30'H, 1"=2'V  
DATE: AUGUST, 2017  
JOB NO.: 161210  
SHEET: 5 OF 15

**NOTE:** ALL CABLE TRENCHES SHALL BE BACKFILLED WITH SAND OR SCREENINGS WHERE CABLE UNDER LIES THE PAVEMENT, SIDEWALK OR DRIVEWAYS. (THIS WORK IS TO BE INCLUDED IN THE ITEM OF "TRENCH & BACKFILL FOR ELECTRICAL WORK (SPECIAL)").



AT THE CONTRACTORS OPTION, THE DIRECTIONAL BORE METHOD MAY BE USED, AT NO ADDITIONAL COST TO THE OWNER.

Revised: Day 11 01/2011

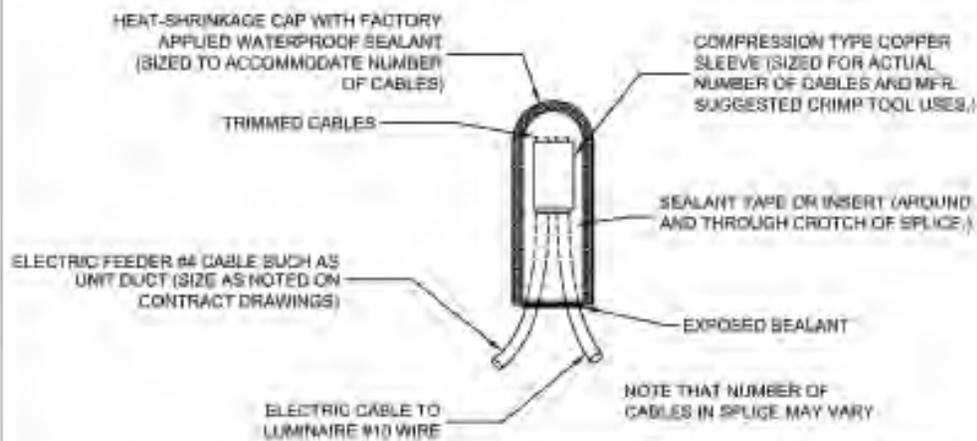
Drawn by: VAB

Reviewed by: JIM

File Name: Standard SL-04 Lighting Trench

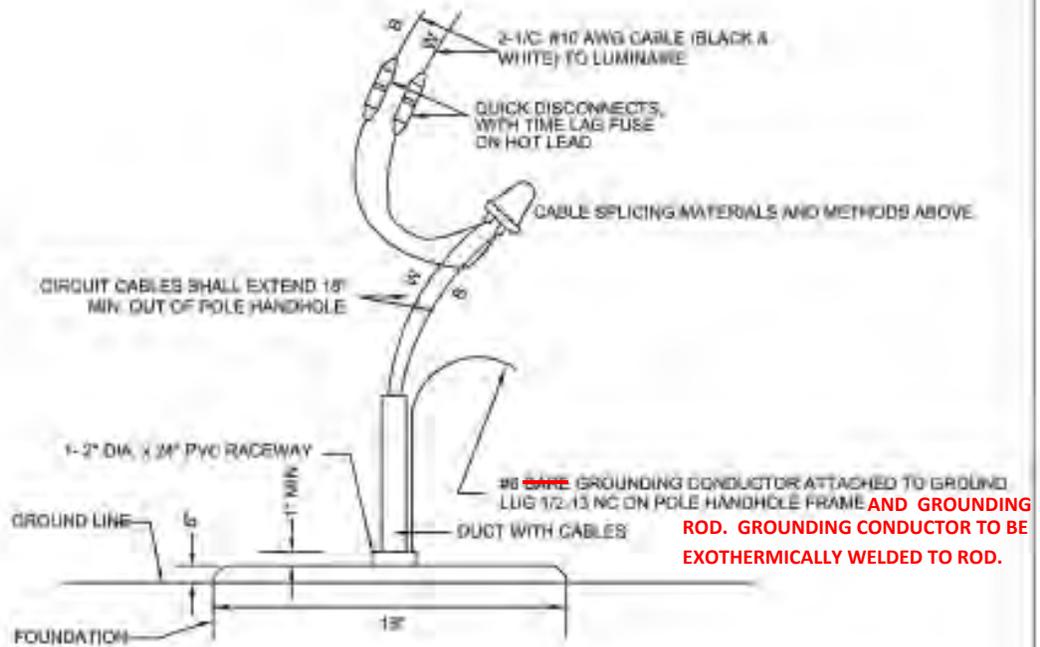


**City of Warrenville Standard SL-04  
Lighting Trench**



**SPlicing ELECTRIC CABLES  
BASIC MATERIALS AND METHODS**

**NOTES:**  
MULTIPLE SPLICE INSULATOR SHALL BE INSTALLED ACCORDING TO MANUFACTURER INSTRUCTION.



Revision Date: 01-20-2011  
 Drawn by: PMK  
 Reviewed by: MDS  
 Engineering Services Division 02-04-01



**City of Warrenville Standard SL-03  
 Cable Splicing in Pole Handhole**

STREET TREE PER LANDSCAPE MASTER PLAN

ROCKWELL STREET

VISUAL CORNER TRIANGLE

GLOBE ARBORVITAE ENCROACH ON VISUAL TRIANGLE & POSSIBLY SWEEP GRASS DEPENDING ON HEIGHT

SOD

SOD

SOD

SOD

LOT 1

JAPANESE TREE LILAC

QUICK FIRE HYDRANGEA

PURPLE MAIDEN GRASS

WINE & ROSE WEIGELA

TARDIVE HYDRANGEA

MORISAN VIBURNUM

TARDIVE HYDRANGEA

TYPICAL AC LOCATION

TYPICAL WINDOW WELL

NORTHWIND SWITCHGRASS

JANE MAGNOLIA

HAPPY RETURNS DAYLILLY

TYPICAL MULCH BED

NORTHWIND SWITCHGRASS

GLOBE ARBORVITAE

GLOBE ARBORVITAE

DENSE YEW

KNOCKOUT ROSE

SUMMER BEAUTY ALLIUM

BOZANNE GERANIE

NORTHWIND SWITCHGRASS

KNOCKOUT ROSE

BOZANNE GERANIE

GREEN YEW

YELLOW STONECR

JANE MAGNOLIA

GREEN VELVET BOXWOOD

EASTERN REDBUD

TYPICAL RAY

SCALE: 1"=10'-0"

PLANT MATERIAL LIST LOT 1 (CORNER)

1  
1  
5  
3

- AMELANCHIER GRANDIFLORA
- MAGNOLIA S. 'JANE'
- CERSIS CANADENSIS
- THUJA O. 'WOODWARDII'
- TAXUS MEDIA 'DENSIFORMIS'
- TAXUS M. 'GREEN VELVET'
- QUICKFIRE

- APPLE SERVICEBERRY
- JANE MAGNOLIA
- EASTERN REDBUD
- GLOBE ARBORVITAE
- DENSE YEW
- GREEN VELVET BOXWOOD
- QUICKFIRE HYDRANGEA
- TARDIVE HYDRANGEA
- KNOCKOUT ROSE

- 7' TO 8'
- 7' TO 8'
- 7' TO 8'
- 5 GAL.
- 18"
- 15"
- 5 GAL.
- GAL.
- GAL.
- 21"