

ORDINANCE NO. O2019-18

AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT FOR PHASE II OF THE EVERTON MIXED-USE DEVELOPMENT AT THE SOUTHEAST CORNER OF ROUTE 59 AND IVAN ALBRIGHT STREET

WHEREAS, M/I Homes of Chicago, LLC, a Delaware limited liability company ("**M/I Homes**"), is the owner of that certain real property consisting of 32.8 acres, located at the southeast corner of Route 59 and Ivan Albright Street, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, on August 20, 2018, the City Council adopted Ordinance No. 2018-36, granting various preliminary approvals for the redevelopment of the Property with (i) 17 townhouse buildings containing a total of 89 townhouse units (each a "**Townhouse Building**"); (ii) seven three-story apartment buildings with a total of 259 units (each an "**Apartment Building**"); (iii) a community clubhouse and pool complex ("**Club House**"); (iv) detached garage buildings (each a "**Detached Garage**"); (v) surface off-street parking areas; (vi) a 3.52-acre commercial area; (vii) a stormwater detention facility/wetland mitigation improvements; and (viii) associated public rights-of-way (collectively, (i) through (viii) are the "**Proposed Development**"); and

WHEREAS, M/I Homes has proposed that the Proposed Development be constructed in four phases as follows: (i) the overall site work, including mass grading, perimeter landscape improvements, construction of all public infrastructure, the Stormwater Facilities, and the proposed public and private roadways, bike path, and related improvements (collectively, the "**Site Work Phase**"); (ii) the Townhouse Buildings ("**Phase I**"); (iii) the Apartment Buildings, Club House, Detached Garages, and surface parking areas ("**Phase II**"); and (iv) the Commercial Area ("**Phase III**"); and

WHEREAS, on March 4, 2019, the City Council adopted Ordinance No. 2019-05 approving: (i) a final planned unit development plan for the entire 32.8-acre Property; (ii) a special use permit for a planned unit development plan for the entire 32.8-acre Property ("**Everton Special Use Permit**"); (iii) a final planned unit development plan for the Site Work Phase; (iv) a special use permit for a planned unit development plan for the Site Work Phase; (v) a final planned unit development plan for Phase I; (vi) a special use permit for a planned unit development for Phase I; and (vii) a final plat of subdivision for the Property ("**Final Plat of Subdivision**"); and

WHEREAS, Warrentville Venture Partners, LLC, a Delaware limited liability company ("**Applicant**"), will be the contract purchaser of that portion of the Property labeled Lot 18 and Lot 19 on the Final Plat of Subdivision, and legally described on Exhibit A to this Ordinance (collectively, the "**Apartment Parcel**"); and

WHEREAS, Applicant desires to develop Phase II of the Proposed Development on Apartment Parcel through its managing member, Warrentville Realty Partners, LLC, a Georgia limited liability company ("**Developer**"); and

WHEREAS, upon completion of Phase II on the Apartment Parcel, Applicant intends that Atlantic Realty Partners, Inc., a Georgia corporation ("**Property Manager**"), will manage the Apartment Parcel and all of the improvements thereon; and

WHEREAS, the members of Warrenville Realty Partners, LLC, and the owners of Atlantic Realty Partners, Inc., are Richard Aaronson and Andrew Aaronson; and

WHEREAS, in order to construct Phase II of the Proposed Development on the Apartment Parcel, pursuant to the applicable sections of the Warrenville Zoning Ordinance ("**Zoning Ordinance**"), Applicant, with the consent of M/I Homes, filed an application with the City for approval of: a final planned unit development plan for Phase II ("**Final Phase II PUD Plan**"); and (ii) a special use permit for a planned unit development for Phase II ("**Phase II Special Use Permit**") (collectively, (i) and (ii) are the "**Requested Approvals**"); and

WHEREAS, Phase III may be constructed by a different applicant at a later date; and

WHEREAS, on April 4, 2019, the Plan Commission, at its regularly scheduled meeting, considered the Requested Approvals and heard public comments; and

WHEREAS, on April 4, 2019, the Plan Commission adopted Findings of Fact, Project Number 2019-0105, recommending that the Mayor and the City Council approve the Requested Approvals; and

WHEREAS, the Mayor and the City Council have determined that, subject to and contingent upon the conditions, restrictions, and provisions of this Ordinance: (i) the Final Phase II PUD Plan complies with the required standards for planned unit developments as set forth in Section 8 of the Zoning Ordinance; and (ii) the Phase II Special Use Permit complies with the required standards for planned unit developments and special use permits as set forth in Sections 7 and 8 of the Zoning Ordinance; and

WHEREAS, consistent with the Plan Commission recommendation, and pursuant to the City's powers under applicable law, including its home rule powers under the Illinois Constitution of 1970, the Mayor and the City Council have determined that it is in the best interest of the City and the public to approve the Requested Approvals, in accordance with, and subject to and contingent upon, the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF WARRENVILLE, DUPAGE COUNTY, ILLINOIS, AS FOLLOWS:

SECTION 1: Recitals. The recitals listed above are incorporated in this Ordinance as if fully set forth in this Ordinance.

SECTION 2: Approval of Phase II Special Use Permit. In accordance with Sections 7 and 8 of the Zoning Ordinance, and subject to and contingent upon the conditions, restrictions, limitations and provisions set forth in this Ordinance, including specifically, but without limitation, Sections 4 and 5 of this Ordinance, the City Council approves the Phase II Special Use Permit to allow the construction of Phase II of the Proposed Development.

SECTION 3: Approval of Final Phase II PUD Plan. In accordance with Section 8 of the Zoning Ordinance, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in this Ordinance, including specifically, but without limitation, Sections 4 and 5 of this Ordinance, the City Council approves the Final Phase II PUD Plan for the Apartment Parcel, which consists of: (i) the Final Site Development Plans, consisting of 20 sheets, prepared by CEMCON, Ltd., and dated December 14, 2018 ("**Final Site Development Plans**"), attached to and, by this reference, made a part of this Ordinance as **Exhibit B**; and (ii) the plans and

documents referred to collectively as the “**Final Phase II PUD Documents**” and listed on **Exhibit C** to this Ordinance (collectively, the Final Site Development Plans and the Final Phase II PUD Documents are the “**Final Phase II PUD Plan**”). The Final Site Development Plans, the Final Phase II PUD Documents and Exhibit C are, by this reference, made a part of this Ordinance.

SECTION 4: Conditions. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the City Code, the Zoning Ordinance, or the Subdivision Control Ordinance or any other rights the Applicant may have, the approvals granted in Sections 2 and 3 of this Ordinance are hereby expressly subject to and contingent upon the conditions, concepts, restrictions, limitations, and provisions set forth in this Section (collectively, the “**Conditions**”).

A. Standard Conditions.

1. Compliance with Regulations. The redevelopment, use, operation, and maintenance of the Apartment Parcel shall comply with all applicable City codes and ordinances as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance.

2. Compliance with Plans. The redevelopment, use, and maintenance of the Property must be in strict accordance with: (i) the Final Site Development Plans and the Final Phase II PUD Documents, as each is revised to address the conditions set forth in Subsection B of this Section and except for minor changes and site work approved in accordance with all applicable City ordinances and standards; and (ii) the plans and documents approved pursuant to Ordinance No. 2019-05, including without limitation, the Final PUD Plan, the Final Site Work and Phase I PUD Plan, and the Final Plat of Subdivision.

B. Other Conditions.

1. Landscape Covenant Agreement. A Landscape Covenant Agreement satisfying the requirements of Section 11.B.4 of the Zoning Ordinance shall be prepared, executed and recorded with the DuPage County Recorder’s Office before the City issues the first Certificate of Occupancy for Phase II. The Phase II Landscape Plan, listed on Exhibit C to this Ordinance, shall be referenced in, and become part of, the Landscape Covenant Agreement.

2. Civil Engineer Review. The Applicant and Developer shall comply with the review comments and recommendations outlined in the Civil Engineering Review Memo, consisting of six pages, prepared by Senior Civil Engineer Kristine Hocking and Engineering Resource Associates, and dated March 22, 2019; attached to and, by this reference, made a part of this Ordinance as **Exhibit D (“Engineering Review Memo”)**.

3. Warrenville Fire Protection District Review. The Applicant and Developer shall address and comply with City Code-supported comments outlined in the Warrenville Fire Protection District’s Review Memo, consisting of three sheets, prepared by Fire Marshal Lee Westrom, and dated February 15, 2019.

4. Path Connections. The Applicant and Developer shall coordinate with and secure necessary permits from the DuPage County Division of Transportation to construct path connections to the Illinois Prairie Path as illustrated on the Final Phase II PUD Plan.

5. Ground Sign. The lighting for the “Everton Club” ground sign shall be designed and operated in accordance with the illumination requirements of the Warrenville Sign Ordinance. Detailed information on sign lighting shall be provided for staff review and approval with the application for the building permit for said sign.

6. Leasing Sign. The proposed “Leasing” sign requires a variance from the Warrenville Sign Ordinance. Such sign may not be installed unless a separate sign variance application is submitted and approved by the City Council in accordance with the requirements of the Warrenville Sign Ordinance.

7. Electric Vehicle Charging Stations. The Applicant and Developer shall provide electric vehicle charging stations for the residents of the Apartment Buildings.

8. Roof Top Equipment. All roof top equipment must be fully screened. The top of parapet walls or roof screens shall be at least as high as all roof top equipment. Screens must be consistent with the architecture and color scheme of the building. Details illustrating the locations of roof top equipment, the equipment height, and screening design shall be provided for staff review and approval prior to the issuance of the building permit for each Apartment Building.

9. Parking in Driveways. The Applicant, Developer and Property Manager shall ensure that cars parked in the driveways in front of the Apartment Building garages do not project into the adjacent drive aisles. All drive aisles shall be maintained unobstructed at all times.

10. Apartment Parcel Ownership/Management. The Apartment Parcel, and the Apartment Buildings, Clubhouse and other structures thereon, shall remain under single ownership or under such unified ownership or control as to ensure that the Apartment Parcel, Apartment Buildings, Clubhouse and other structures are developed, operated, and maintained as a unified whole, and managed/operated by a single, experienced multi-family management company. Individual Apartment Buildings shall not be under different ownership from each other.

11. Ownership/Management Covenant. The Apartment Parcel shall be subject to recorded covenants: (i) requiring the Apartment Parcel, and the Apartment Buildings, Clubhouse, and other structures and improvements thereon, to be maintained in a first-class condition and operated as a unified whole by a single, experienced multi-family management company; (ii) requiring all of the Apartment Buildings, Clubhouse, and other structures to be owned by the same owner; and (iii) ensuring the continuity of, care, conservation, maintenance, and operation of the Apartment Parcel and to make remedial measures available to the City of the Apartment Parcel, buildings, improvements, open space and landscaping are permitted to deteriorate or are not maintained in a condition consistent with the best interests of the planned development or the City. Such covenants must be recorded with the DuPage County Recorder’s Office before the City issues the first building permit for Phase II.

12. Snow Storage Plan. Some of the proposed “snow storage” areas illustrated on the submitted Snow Storage Exhibit, listed on Exhibit C to this Ordinance, are in conflict with the landscape design illustrated on the Phase II Landscape Plan, listed on Exhibit C to this Ordinance, including specifically, the landscape beds where dense rows of shrubs

are proposed for planting. The Snow Storage Exhibit shall be revised to eliminate the conflicts with the proposed landscape materials.

13. Building Materials. The exterior finish building materials shall be consistent with those illustrated on the Typical Building Elevations, listed on Exhibit C to this Ordinance, which includes brick veneer and fiber cement siding.

14. Solar Energy. The Applicant, Developer, and Property Manager shall install and operate the renewable solar energy improvements as outlined in the letter from Atlantic Realty Partners and the Solar Feasibility Study consisting of five pages and dated August 20, 2018, attached to and, by this reference, made a part of this Ordinance as **Exhibit E ("Solar Energy Letter")**.

15. Landscaping.

a. The Applicant and Developer shall revise the Phase II Landscape Plan, listed on Exhibit C to this Ordinance, as follows:

i. To include additional shade trees required in each parking lot landscape island as follows:

1. North of the Clubhouse;
2. North of Apartment Building #2, between parallel and perpendicular parking spaces;
3. Southwest of Apartment Building #2 in the landscape island with a pathway (the pathway location should be adjusted a few feet north or south);
4. South of Apartment Building #2, west of the Detached Garage;
5. East of Apartment Building #1, north of the Detached Garage;
6. North of Apartment Building #6, west of the eastern Detached Garage; and
7. North of the trash enclosure.

ii. To provide taller landscape materials to screen the transformer proposed on the north side of the Clubhouse and all other electrical ground equipment units.

b. The exact location and spacing of trees proposed in close proximity to the property line along Everton Drive shall be coordinated in the field with the parkway trees M/I Homes is required to plant within the Everton Drive right-of-way. The purpose of this coordination shall be to provide proper tree spacing and avoid conflicts.

16. Access to Future Apartment Building Clubhouse. The Applicant shall ensure that Residents of the Townhome Buildings shall have full access to and use of the various amenities contained within the Clubhouse at either no charge or for reasonable fees that would be competitive for access to similar off-site public and private recreational facilities.

17. School, Park and Library Contributions. The Applicant and Developer shall pay all required school, park and library contributions for Phase II at the time that each building permit is issued for Phase II.

18. Fees and Security Guaranteeing Completion of Public Improvements. The Applicant and Developer shall pay/submit all applicable review and inspection fees and the required security guaranteeing completion of public improvements prior to the recording of this Ordinance.

19. Traffic Enforcement Agreement. A Private Property Traffic Enforcement Agreement, in a form acceptable to the City, shall be executed by the Applicant prior to any building permit issuance for Phase II.

20. DuPage County Traffic Impact Fee. The DuPage County Traffic Impact Fee must be paid prior to the City's issuance of a building permit for any part of Phase II.

SECTION 5. Binding Effect. This Ordinance and the privileges, obligations, and provisions contained herein run with the Apartment Parcel and inure to the benefit of, and are binding upon, the Applicant and Developer and their respective successors, and assigns, including, without limitation, subsequent purchasers of the Apartment Parcel.

SECTION 6: Invalidation of Approvals. Upon the failure or refusal of the Applicant or Developer, or each of their successors or assigns, to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, in addition to all other remedies available to the City, the approvals granted in Sections 2 and 3 of this Ordinance ("**Approvals**") may, at the sole discretion of the City Council, by ordinance duly adopted, be revoked and become null and void; provided, however, that the City Council may not so revoke the Approvals unless it first provides the Applicant and Developer, or each of their successors or assigns, with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the City Council. In the event of such revocation, the City Administrator and City Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. The Applicant and Developer acknowledge that public notices and hearings have been held with respect to the adoption of this Ordinance, has considered the possibility of the revocation provided for in this Section, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or any denial of any procedural right, provided that the notice to the Applicant and Developer or their respective successors or assigns required by this Section is given.

SECTION 7: Amendments. Any amendment to any provision of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance and the Subdivision Control Ordinance, as applicable to the affected items of relief.

SECTION 8: Effective Date.

A. This Ordinance will be effective only upon the occurrence of all of the following events:

1. Passage by the City Council by a majority vote and approval in the manner required by law;
2. Publication in pamphlet form in the manner required by law;
3. The Applicant, the Developer, and the Property Manager are lawfully established and in good standing to do business in the State of Illinois, and have provided to the City Clerk a certificate from the Illinois Secretary of State to that effect;
4. The filing by the Applicant and the Developer with the City Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit F** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the City for any claims that may arise in connection with the approval of this Ordinance;
5. The Applicant holds legal title to the entire Apartment Parcel and has tendered satisfactory proof of such title to the City Clerk.
6. Recordation of this Ordinance, together with such exhibits as the City Clerk deems appropriate for recordation, with the office of the Recorder of DuPage County.

B. In the event that the Applicant and Developer do not file with the City Clerk a fully executed copy of the unconditional agreement and consent referenced in Paragraph 8.A.4 of this Ordinance within 180 days after the date of passage of this Ordinance by the Mayor and City Council, the corporate authorities shall have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED THIS 15th day of April, 2019.

AYES: Ald. Davolos, Wilson, Barry, Goodman, and Mayor Brummel

NAYS: Ald. Aschauer, Hoffmann, Weidner, and Bevier

ABSENT: None

ABSTAIN: None

APPROVED THIS 15th day of April, 2019.



MAYOR

ATTEST:



CITY CLERK

#66889777_v3

EXHIBITS

Exhibit A – Legal Descriptions of Property and Apartment Parcel

Exhibit B – Final Site Development Plans

Exhibit C – Final Phase II PUD Documents

Exhibit D – Engineering Review Memo

Exhibit E – Solar Energy Letter

Exhibit F – Unconditional Agreement and Consent

EXHIBIT A

LEGAL DESCRIPTION OF THE PROPERTY

LOTS 1 THROUGH 20 AND OUTLOTS 1 THROUGH 5 OF THE EVERTON SUBDIVISION, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED IN THE OFFICE OF THE DUPAGE COUNTY RECORDER OF DEEDS AS DOCUMENT NO. _____ ON _____, 2019.

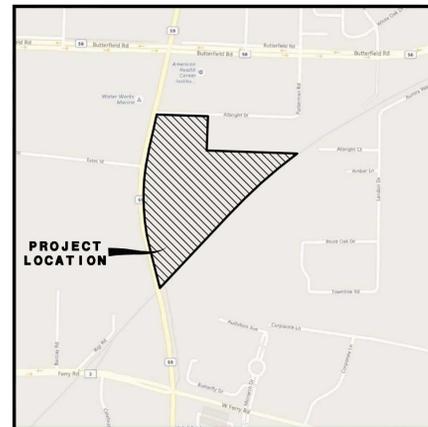
LEGAL DESCRIPTION OF THE APARTMENT PARCEL

LOTS 18 AND 19 IN THE EVERTON SUBDIVISION, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED IN THE OFFICE OF THE DUPAGE COUNTY RECORDER OF DEEDS AS DOCUMENT NO. _____ ON _____, 2019.

EXHIBIT B

FINAL SITE DEVELOPMENT PLANS

FINAL SITE DEVELOPMENT PLANS
FOR
EVERTON APARTMENTS
WARRENVILLE, ILLINOIS
WATERMAIN - SANITARY SEWER - STREET - STREET LIGHTING
AND DRAINAGE IMPROVEMENTS



LOCATION MAP



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
○	●	INLET
○	●	CLEANOUT
	▨	SLOPE INLET BOX
	— —	HEADWALL
	— —	END SECTION
— —	— —	STORM SEWER
— —	— —	SANITARY SEWER
— —	— —	WATERMAIN
⊗	⊕	VALVE & BOX
⊗	⊕	WATER VALVE IN VAULT
⊗	⊕	FIRE HYDRANT
(ELEV)	ELEV	CONTOURS
⊗	⊕	ELEVATIONS
⊗	⊕	STREET LIGHT
	▨	WATERMAIN PROTECTION
	▨	SILT FENCE INLET PROTECTOR
	▨	TEMPORARY STRAW BALE DITCH CHECK
	▨	SILT FENCE DITCH CHECK
	▨	RIP-RAP
	→	OVERFLOW ROUTE

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6	NORTHEAST GEOMETRIC, STRIPING AND SIGNAGE PLAN
7	OVERALL LIGHTING PLAN AND DETAILS
8	MASTER UTILITY PLAN
9	STORMWATER POLLUTION PREVENTION PLAN
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BENCHMARKS

ELEVATION REFERENCE MARKS:

DUPAGE COUNTY BENCHMARK GEODETIC SURVEY MONUMENT 0122:
STATION IS LOCATED ALONG THE WEST SIDE OF THE ILLINOIS PRAIRIE PATH,
SOUTH OF THE INTERSECTION WITH FERRY ROAD. STATION IS 141.0 FT SOUTH
OF THE CENTERLINE OF FERRY ROAD AND 26.0 FT WEST OF THE WEST WALL
ALONG THE BICYCLE TRAIL OVERPASS. MONUMENT IS A 3.5 INCH BRASS DISK
ON THE EAST SIDE OF THE CONCRETE BASE FOR TOWER #3017, 2.0 FT ABOVE
PATH SURFACE LEVEL.
ELEV. = 723.85 NAVD 88

DUPAGE COUNTY BENCHMARK GEODETIC SURVEY MONUMENT, BENCHMARK 8,
PID AA3730:
STATION IS LOCATED ON THE EAST SIDE OF RAYMOND DRIVE, APPROXIMATELY
390 FT NORTH OF THE INTERSECTION OF CRYSTAL AVENUE AND RAYMOND
DRIVE.
ELEV. = 711.40 NAVD 88

PROJECT ELEVATION REFERENCE MARKS:

TAG BOLT ON FIRST FIRE HYDRANT NORTH OF
ILLINOIS PRAIRIE PATH ON ON EAST SIDE OF IL ROUTE 59.
ELEV. = 718.29 NAVD 88

TAG BOLT ON THIRD FIRE HYDRANT NORTH OF
ILLINOIS PRAIRIE PATH ON ON EAST SIDE OF IL ROUTE 59.
ELEV. = 721.66 NAVD 88

PROFESSIONAL ENGINEER'S CERTIFICATION

STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)

I, MICHAEL A. MAY, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS,
HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION WAS PREPARED ON
BEHALF OF M/I HOMES OF CHICAGO, LLC, BY CEMCON, LTD. UNDER MY
PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE
USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT
SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS ____ DAY OF _____, A.D., 2019.

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-059494
MY LICENSE EXPIRES ON NOVEMBER 30, 2019

PROFESSIONAL DESIGN FIRM LICENSE NUMBER 184-002937
EXPIRES APRIL 30, 2019

NOTE: UNLESS THIS DOCUMENT BEARS THE ORIGINAL SIGNATURE AND
IMPRESSED SEAL OF THE DESIGN PROFESSIONAL ENGINEER, IT IS NOT A VALID
TECHNICAL SUBMISSION.

**FOR UNDERGROUND UTILITY
LOCATIONS, CALL
J.U.L.I.E.
TOLL FREE
TEL. 1-800-892-0123 or 811**

DATE: _____
RELEASED FOR PLAN REVIEW AND PERMIT
PROCESSING ONLY.

IF USED FOR BIDDING PURPOSES, THOSE PARTIES
CONCERNED SHALL BE ADVISED THAT REVISIONS
MAY BE REQUIRED PRIOR TO PLAN APPROVAL.

NOT ISSUED FOR CONSTRUCTION UNTIL APPROVED BY THE
CITY OF WARRENVILLE AND PERMITTED AS REQUIRED.

PREPARED FOR:
ATLANTIC REALTY PARTNERS
3500 LENNOX ROAD
SUITE 1250
ATLANTA, GA 30326



PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60504-9675
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS					
NO.	DATE	SHEETS	NO.	DATE	SHEETS

JOB NO. 841.001
COMPLETION DATE :
DECEMBER 14, 2018
SHEET 1 OF 20

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

GENERAL

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WARRENVILLE STANDARDS AND WITH THE CURRENT EDITION AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", APPLICABLE WHEN REFERENCED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK IS STARTED. ALL UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION.
- IF THE ENGINEER IS RETAINED FOR CONSTRUCTION STAKING SERVICES, THE ENGINEER AND THE CITY OF WARRENVILLE PUBLIC WORKS WILL BE GIVEN SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING THAT IS TO BE DONE. IF ENGINEER IS CONTRACTED BY OWNER OR CONTRACTOR FOR CONSTRUCTION STAKING SERVICES, EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO CONTRACTOR NEGLIGENCE SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
- THE CONTRACTOR SHALL INFORM WARRENVILLE BEFORE WORK COMMENCES ON EACH CATEGORY OF CONSTRUCTION, I.E. WATERMAIN, SANITARY, STREET AND DRAINAGE IMPROVEMENT. A FORTY EIGHT (48) HOUR NOTICE SHALL BE GIVEN FOR ANY ITEM THAT REQUIRE FINAL TESTING AND INSPECTION SUCH AS WATERMANS OR SANITARY SEWERS.
- THE CONTRACTOR RESPONSIBLE FOR WATERMAIN CONSTRUCTION, SANITARY SEWER CONSTRUCTION AND DRAINAGE IMPROVEMENTS (UNDERGROUND WORK) SHALL DISPOSE OF ALL SURPLUS MATERIALS ON THE SITE AS DIRECTED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID WORK SHALL BE INCIDENTAL TO THE OTHER ITEMS OF CONSTRUCTION.
- AFTER CONSTRUCTION STAKING IS PERFORMED, BUT PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE OWNER'S REPRESENTATIVE TO ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER, AND SHALL NOT PROCEED WITH THE WORK UNTIL ANY LINES AND GRADES WHICH ARE BELIEVED TO BE IN ERROR HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER'S REPRESENTATIVE.
- THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE TO PLACE ON GRADE AND COORDINATE WITH OTHER CONTRACTORS ALL UNDERGROUND STRUCTURE FRAMES SUCH AS CATCH BASINS, INLETS, MANHOLES, HYDRANTS, BUFFALO BOXES, VALVES, ETC. NO ADDITIONAL COMPENSATION WILL BE PAID AND SAID ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF CONSTRUCTION.
- CONTRACTORS SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS ON A DAILY BASIS.
- CONTRACTOR SHALL NOTIFY THE ILLINOIS DEPARTMENT OF TRANSPORTATION PRIOR TO PERFORMING WORK WITHIN THE ILLINOIS ROUTE 59 R.O.W.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS (INCLUDING UTILITY LOCATIONS) PRIOR TO THE INSTALLATION OR FABRICATION OF ANY MATERIALS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER
- IN THE EVENT OF A CONFLICT, CONTRADICTION OR DISCREPANCY, CITY STANDARDS AND CODES SHALL GOVERN.

TRAFFIC CONTROL AND PROTECTION

- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE GOVERNED BY THE FOLLOWING SPECIFICATION FOR TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE APPLICABLE ARTICLES OF THE CITY OF WARRENVILLE AND ILLINOIS DEPARTMENT OF TRANSPORTATION, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION OF "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND SPECIAL DETAILS OF ILLINOIS HIGHWAY STANDARDS LISTED HEREIN.
- SPECIAL ATTENTION IS CALLED TO ARTICLES 107.09 AND 107.14 OF THE STANDARD SPECIFICATIONS AND THE FOLLOWING HIGHWAY STANDARDS, DETAILS AND SUPPLEMENTAL SPECIFICATIONS AND MIMEOGRAPHED SPECIAL PROVISIONS CONTAINED HEREIN, RELATING TO TRAFFIC CONTROL.
- THE CONTRACTOR SHALL CONTACT THE CITY OF WARRENVILLE AND IDOT AT LEAST SEVENTY-TWO (72) HOURS BEFORE WORK COMMENCES.
- STANDARDS
701201
701501
- AT THE PRECONSTRUCTION MEETING THE CONTRACTOR SHALL FURNISH THE NAME OF THE INDIVIDUAL IN HIS DIRECT EMPLOY WHO IS TO BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE TRAFFIC CONTROL FOR THIS PROJECT. IF THE ACTUAL INSTALLATION AND MAINTENANCE ARE TO BE ACCOMPLISHED BY A SUBCONTRACTOR, CONSENT SHALL BE REQUESTED OF THE ENGINEER AT THE TIME OF THE PRECONSTRUCTION MEETING IN ACCORDANCE WITH ARTICLE 108.01 OF THE STANDARD SPECIFICATIONS. THIS SHALL NOT RELIEVE THE CONTRACTOR OF THE FOREGOING REQUIREMENT FOR A RESPONSIBLE INDIVIDUAL IN HIS DIRECT EMPLOY TO SUPERVISE THIS WORK. THE CONTRACTOR WILL PROVIDE THE NAME OF ITS REPRESENTATIVE WHO WILL BE RESPONSIBLE FOR THE ADMINISTRATION OF THE TRAFFIC CONTROL PLAN.
- THIS ITEM OF WORK SHALL INCLUDE FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING ALL TRAFFIC CONTROL DEVICES USED FOR THE PURPOSE OF REGULATING, WARNING OR DIRECTING TRAFFIC DURING THE CONSTRUCTION OR MAINTENANCE OF THIS IMPROVEMENT.
- TRAFFIC CONTROL AND PROTECTION SHALL BE PROVIDED AS CALLED FOR IN THE PLANS, THESE SPECIAL PROVISIONS, APPLICABLE HIGHWAY STANDARDS, APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS, OR AS DIRECTED BY THE ENGINEER.

TRAFFIC CONTROL AND PROTECTION (CONT'D)

- THE FOLLOWING TRAFFIC CONTROL REQUIREMENTS ARE OF SPECIAL IMPORTANCE. COMPLIANCE WITH THESE REQUIREMENTS, HOWEVER, SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO ALL OTHER APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE GOVERNING FACTOR IN THE EXECUTION AND STAGING OF WORK FOR THIS PROJECT IS TO PROVIDE THE MOTORING PUBLIC WITH THE SAFEST POSSIBLE TRAVEL CONDITIONS ALONG THE ROADWAY THROUGH THIS CONSTRUCTION ZONE. THE CONTRACTOR SHALL SO ARRANGE HIS OPERATION AS TO KEEP THE CLOSING OF ANY LANE OF THE ROADWAY TO A MINIMUM.
- ALL TRAFFIC CONTROL DEVICES USED ON THIS PROJECT SHALL CONFORM TO THE PLANS, SPECIAL PROVISIONS, TRAFFIC CONTROL STANDARDS, "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES" AND THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". NO MODIFICATION OF THESE REQUIREMENTS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- TRAFFIC CONTROL DEVICES INCLUDE: SIGNS AND THEIR SUPPORTS, SIGNALS, PAVEMENT MARKINGS, BARRICADES WITH SAND BAGS, CHANNELIZING DEVICES, WARNING LIGHTS, ARROWBOARDS, FLAGGERS, OR ANY OTHER DEVICE USED FOR THE PURPOSE OF REGULATING, WARNING, OR GUIDING TRAFFIC THROUGH THE CONSTRUCTION ZONE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION, INSTALLATION, AND ARRANGEMENT OF ALL TRAFFIC CONTROL DEVICES. SPECIAL ATTENTION SHALL BE GIVEN TO ADVANCE WARNING SIGNS DURING CONSTRUCTION OPERATIONS IN ORDER TO KEEP LANE ASSIGNMENT CONSISTENT WITH BARRICADE PLACEMENT AT ALL TIMES. THE CONTRACTOR SHALL COVER ALL TRAFFIC CONTROL DEVICES WHICH ARE INCONSISTENT WITH DETOUR OR LANE ASSIGNMENT PATTERNS DURING THE TRANSITION FROM ONE CONSTRUCTION STAGE TO ANOTHER.
- CONSTRUCTION SIGNS REFERRING TO DAYTIME LANE CLOSURE DURING WORKING HOURS SHALL BE REMOVED OR COVERED DURING NON-WORKING HOURS.
- THE CONTRACTOR SHALL COORDINATE ALL TRAFFIC CONTROL WORK ON THIS PROJECT WITH ADJOINING OR OVERLAPPING PROJECTS, INCLUDING BARRICADE PLACEMENT NECESSARY TO PROVIDE A UNIFORM TRAFFIC DETOUR PATTERN. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REMOVE ALL TRAFFIC CONTROL DEVICES WHICH WERE FURNISHED, INSTALLED AND MAINTAINED BY HIM UNDER THIS CONTRACT, AND SUCH DEVICES SHALL REMAIN THE PROPERTY OF THE CONTRACTOR. ALL TRAFFIC CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL SPECIFIC AUTHORIZATION FOR RELOCATION OR REMOVAL IS RECEIVED FROM THE ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT ALL TRAFFIC CONTROL DEVICES INSTALLED BY HIM ARE OPERATIONAL 24 HOURS A DAY, INCLUDING SUNDAYS AND HOLIDAYS.
- THE CONTRACTOR SHALL PROVIDE A MANNED TELEPHONE ON A CONTINUOUS 24-HOUR-A-DAY BASIS TO RECEIVE NOTIFICATION OF ANY DEFICIENCIES REGARDING TRAFFIC CONTROL AND PROTECTION AND SHALL DISPATCH WORKERS, MATERIALS AND EQUIPMENT TO CORRECT ANY SUCH DEFICIENCIES. THE CONTRACTOR SHALL RESPOND TO ANY CALL FROM THE CITY OF WARRENVILLE TRANSPORTATION, ENGINEERING AND DEVELOPMENT BUSINESS GROUP AT (630) 420-6082 CONCERNING ANY REQUEST FOR IMPROVING OR CORRECTING TRAFFIC CONTROL DEVICES AND BEGIN MAKING THE REQUESTED REPAIRS WITHIN TWO HOURS FROM THE TIME OF NOTIFICATIONS.
- WHEN TRAVELING IN LANES OPEN TO PUBLIC TRAFFIC, THE CONTRACTOR'S VEHICLES SHALL ALWAYS MOVE WITH AND NOT AGAINST OR ACROSS THE FLOW OF TRAFFIC. THESE VEHICLES SHALL ENTER OR LEAVE WORK AREAS IN A MANNER WHICH WILL NOT BE HAZARDOUS TO, OR INTERFERE WITH, TRAFFIC AND SHALL NOT PARK OR STOP EXCEPT WITHIN DESIGNATED WORK AREAS. PERSONAL VEHICLES SHALL NOT PARK WITHIN THE RIGHT-OF-WAY EXCEPT IN SPECIFIC AREAS DESIGNATED BY THE ENGINEER.
- ANY DROP OFF GREATER THAN THREE INCHES, BUT LESS THAN SIX INCHES WITHIN EIGHT FEET OF THE PAVEMENT EDGE SHALL BE PROTECTED BY TYPE I OR II BARRICADES EQUIPPED WITH MONO-DIRECTIONAL STEADY BURN LIGHTS AT 100 FOOT CENTER TO CENTER SPACING. IF THE DROP OFF WITHIN EIGHT FEET OF THE PAVEMENT EDGE EXCEEDS SIX INCHES, THE BARRICADES MENTIONED ABOVE SHALL BE PLACED AT 50 FOOT CENTER TO CENTER SPACING. ALL BARRICADES THAT MUST BE PLACED IN EXCAVATED AREAS SHALL HAVE LEG EXTENSIONS INSTALLED SUCH THAT THE TOP OF THE BARRICADE IS IN COMPLIANCE WITH THE HEIGHT REQUIREMENTS OF STANDARD 2299. VERTICAL PANELS OR OTHER DELINEATING DEVICES MAY BE SUBSTITUTED FOR TYPE I OR II BARRICADES WITH THE APPROVAL OF THE ENGINEER.
- CHECK BARRICADES SHALL BE PLACED IN WORK AREAS PERPENDICULAR TO TRAFFIC EVERY 100 FEET, ONE (1) PER LANE AND SHOULDER, TO PREVENT MOTORISTS FROM USING WORK AREAS AS A TRAVELED WAY. ADDITIONAL CHECK BARRICADES SHALL BE PLACED IN ADVANCE OF ANY HAZARD IN THE WORK AREAS WHICH WOULD ENDANGER A MOTORIST. CHECK BARRICADES SHALL BE TYPE I OR II AND EQUIPPED WITH A FLASHING LIGHT.
- PLACEMENT OF ALL SIGNS AND BARRICADES SHALL PROCEED IN THE DIRECTION OF FLOW OF TRAFFIC. REMOVAL OF ALL SIGNS AND BARRICADES SHALL START AT THE END OF THE CONSTRUCTION AREAS AND PROCEED TOWARD ONCOMING TRAFFIC UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- DELAYS TO THE CONTRACTOR CAUSED BY COMPLYING WITH THESE REQUIREMENTS WILL BE CONSIDERED INCIDENTAL TO THE ITEM FOR TRAFFIC CONTROL AND PROTECTION, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- THIS ITEM OR WORK WILL BE MEASURED ON A LUMP SUM BASIS FOR FURNISHING, INSTALLING, MAINTAINING, RELOCATING AND REMOVING THE TRAFFIC CONTROL DEVICES REQUIRED IN THE PLANS AND THESE SPECIAL PROVISIONS. PAYMENT FOR TRAFFIC CONTROL AND PROTECTION SHALL BE CONSIDERED AS INCLUDED INCLUDED IN THE WORK BEING DONE OR AS SPECIFIED IN THE PLANS.
- ADJACENT ROADWAYS MUST REMAIN OPEN TO TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.
- IF NECESSARY, ANY TEMPORARY LANE CLOSURES ON ADJACENT ROADWAYS MUST BE COORDINATED WITH AND APPROVED BY THE GOVERNING BODY FOR THE ROADWAY.

TRAFFIC CONTROL AND PROTECTION (CONT'D)

- DURING THE PERIOD OF TIME WHEN THE PUBLIC SIDEWALK IS CLOSED, "SIDEWALK CLOSED" SIGNS MUST BE PLACED WITH POSITIVE DIRECTION TO PEDESTRIANS. A SIGN SHOULD BE PLACED AT THE EAST & WEST EXTENTS OF THE WORK ZONE TO DIRECT PEOPLE TO USE THE SIDEWALK ALONG THE NORTH SIDE OF THE STREET.
 - ALL CONTRACTOR AND SUB-CONTRACTOR VEHICLES MUST BE PARKED OFF OF PUBLIC STREETS UNLESS AUTHORIZED BY THE CITY OF WARRENVILLE ENGINEER.
- SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION**
- STANDARDS:**
- THE FOLLOWING PUBLICATIONS WILL BE USED AS A GUIDE FOR THE IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL:
- ILLINOIS URBAN MANUAL STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- CITY OF WARRENVILLE STANDARD SPECIFICATIONS AND CITY OF WARRENVILLE STANDARD DETAILS.

REQUIREMENTS:

- SEDIMENT AND EROSION CONTROLS SPECIFIED ON THE PLANS WILL BE FUNCTIONAL BEFORE ANY EARTHWORK OPERATIONS COMMENCE OR BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- STOCKPILES OF EARTH MATERIAL WILL BE PLACED AT LOCATIONS AS INDICATED ON THE PLANS. A SILT FENCE WILL BE PLACED AROUND THE BASE OF THE STOCKPILE WHERE INDICATED. STOCKPILES OF SOIL SHALL NOT BE LOCATED IN SPECIAL MANAGEMENT AREAS.
- SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER TEMPORARILY INCREASE DURING CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM SHALL BE UNDERTAKEN.
- STORM SEWER INLETS SHALL BE PROTECTED BY STRAW BALE SEDIMENT TRAPS OR FILTER CONTROL DEVICES FOLLOWING INSTALLATION.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING WILL BE FILTERED.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A CONSTRUCTION ENTRANCE. SAID CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS.
- THE DESIGNATED CONSTRUCTION ACCESS ROAD WILL BE MAINTAINED WITH CONNECTION TO ADJACENT PUBLIC ROADWAY. THIS ACCESS ROAD WILL BE UTILIZED AS A VEHICLE WASH DOWN AREA TO PREVENT A DEPOSIT OF SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ADJACENT ROADWAYS WILL BE SWEEP OR CLEANED OF SOIL, MUD, DEBRIS OR EXTRANEOUS MATERIALS AS NECESSARY BEFORE THE END OF EACH WORKDAY.
- ALL CONTROL MEASURES NECESSARY WILL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGH THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT EROSION CONTROL IS OPERATIONAL.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.

MAINTENANCE:

THE EXCAVATING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INITIAL CONSTRUCTION OF THE EROSION CONTROL MEASURES SHOWN IN THE PLAN, AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID FACILITIES UNTIL THE COMPLETION OF FINAL GRADING OPERATIONS AFTER CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL REQUEST IN WRITING A RELEASE FROM THE OWNER FOR MAINTENANCE OF THE SITE UPON COMPLETION OF THE WORK. THE OWNER SHALL ISSUE SAID RELEASE WITHIN 15 DAYS OF THE CONTRACTOR'S REQUEST PROVIDING THE CONTRACTOR HAS COMPLETED ALL WORK REQUIRED UNDER THE CONTRACT. THE CONTRACTOR'S EROSION CONTROL MAINTENANCE RESPONSIBILITIES SHALL BE EXCLUSIVE OF THE CONSTRUCTION WARRANTY AND/OR GUARANTEE PERIOD.

INSPECTION BY OWNER:

- QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCH OR GREATER OR EQUIVALENT SNOWFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
 - BASED ON THE RESULTS OF THE INSPECTION, THE PLAN AND EROSION CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE PLAN WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION.
 - A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION CONTROL PLAN, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED FOR AT LEAST THREE YEARS AFTER THE DATE OF INSPECTION.

SEDIMENT AND EROSION CONTROL DURING CONSTRUCTION (CONT'D)

- THE PERMITTEE SHALL COMPLETE AND SUBMIT WITHIN FIVE (5) DAYS AN "INCIDENCE OF NON-COMPLIANCE" (ION) REPORT FOR ANY VIOLATION OF THE EROSION CONTROL PLAN OBSERVED DURING AN INSPECTION CONDUCTED, INCLUDING THOSE NOT REQUIRED BY THE PLAN. SUBMISSION SHALL BE ON FORMS PROVIDED BY THE AGENCY AND INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NON-COMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NON-COMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSES OF NON-COMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NON-COMPLIANCE.

CONTRACTORS:

- ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE NPDES PERMIT MUST SIGN A COPY OF THE CERTIFICATION STATEMENT IN PARAGRAPH B BELOW, EXCEPT FOR OWNERS THAT ARE ACTING AS CONTRACTOR.

B. CERTIFICATION STATEMENT:

"I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10000) THAT AUTHORIZES THE STORAGE, TREATMENT, AND DISCHARGE OF WASTEWATER ASSOCIATED WITH THE ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION".

THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS (OR OTHER IDENTIFYING DESCRIPTION) OF THE SITE; AND THE DATE THE CERTIFICATION IS MADE.

EARTHWORK, GRADING AND PAVING

- WORK UNDER THIS SECTION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CLEARING AND REMOVAL OF ALL UNDESIRABLE TREES AND OTHER VEGETATIVE GROWTH WITHIN THE CONSTRUCTION AREA. TREE REMOVAL SHALL BE DESIGNATED BY THE OWNER AND SHALL BE KEPT TO A MINIMUM.
 - STRIPPING OF TOPSOIL FROM ALL STREET, DRIVEWAY, PARKING LOT, RIGHT-OF-WAY, BUILDING PAD AND OTHER DESIGNATED STRUCTURAL AREAS.
 - STOCKPILING OF TOPSOIL AT LOCATIONS AS DIRECTED BY THE OWNER. TOPSOIL STOCKPILED FOR FUTURE USE SHALL BE RELATIVELY FREE FROM LARGE ROOTS, STICKS, WEEDS, BRUSH, STONES LARGER THAN ONE (1) INCH DIAMETER, OR OTHER LITTER AND WASTE PRODUCTS INCLUDING EXTRANEOUS MATERIALS NOT CONDUCTIVE TO PLANT GROWTH. TOPSOIL SHALL BE STOCKPILED IN SEQUENCE TO ELIMINATE ANY REHANDLING OR DOUBLE MOVEMENTS BY THE CONTRACTOR. FAILURE TO PROPERLY SEQUENCE THE STOCKPILING OPERATIONS SHALL NOT CONSTITUTE A CLAIM FOR ADDITIONAL COMPENSATION. NO MATERIAL SHALL BE STOCKPILED IN FRONT YARDS, OVERLAND DRAINAGE SWALES (FLOOD ROUTING AREAS), IN PROPOSED UTILITY LOCATIONS, IN UTILITY EASEMENTS OR IN THE RIGHT-OF-WAY.
 - REMOVAL OF UNSUITABLE MATERIALS AS SPECIFIED FROM ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
 - CLAY CUT AND CLAY FILL WITH COMPACTION WITHIN ROADWAY, DRIVEWAY/PARKING, BUILDING PAD AND OTHER DESIGNATED AREAS.
 - EXCAVATION AND GRADING OF THE OPEN SPACE, AND/OR YARD AREAS PER PLAN INCLUDING CONSTRUCTION OF BERMS, ETC.
 - GRAVING AND COMPACTION OF STRUCTURAL MATERIAL TO THE DESIGN SUBGRADE ELEVATIONS AS REQUIRED BY THE STANDARDS AND DETAILS ON THE CONSTRUCTION PLANS. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT AND/OR TOPSOIL REPLACEMENT THICKNESS MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.
 - IF REQUIRED, BORROW PIT EXCAVATION OF STRUCTURAL MATERIAL AND REFILL OF PIT WITH NON-STRUCTURAL MATERIAL.
 - PLACEMENT AND COMPACTION OF NON-STRUCTURAL FILLS.
 - MOVEMENT AND COMPACTION OF SPOIL MATERIAL FROM THE CONSTRUCTION OF UNDERGROUND UTILITIES.
 - BACKFILLING OF CURBS AND/OR PAVEMENT AND SIDEWALK AFTER INSTALLATION OF SAME BY THE PAVING CONTRACTOR.
 - FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN IN THESE PLANS; AND TOPSOIL PLACEMENT TO DESIGN FINISHED GRADE ELEVATIONS.
 - SOIL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES. THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL GUTTER FLAGS AND PAVEMENTS ARE PITCHED PROPERLY TO ACHIEVE THIS DRAINAGE PATTERN.
- MATERIALS TESTING, IF REQUIRED BY THE MUNICIPALITY, SHALL BE PROVIDED BY THE CONTRACTOR. THIS ITEM WILL NOT BE PAID FOR SEPARATELY BUT INCLUDED IN THE VARIOUS ITEMS OF WORK.
- DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR ANY OTHER ACCEPTABLE METHOD. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIAL CREATED AS A RESULT THEREOF.

EARTHWORK, GRADING AND PAVING (CONT'D)

- IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS. BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER. NO UNDERCUT SHALL BE PERFORMED WITHOUT AUTHORIZATION FROM OWNER AND ASSIGNMENT OF AN EWO NUMBER.
- THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
- THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
- THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT GREATER THICKNESSES, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.
- EMBANKMENT MATERIAL WITHIN ROADWAY, DRIVEWAY, PARKING LOT AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE PERCENT (93%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER.
- THE SURFACE VEGETATION, TOPSOIL AND ANY OBVIOUSLY SOFT UNDERLYING SOIL SHOULD BE STRIPPED FROM ALL AREAS TO RECEIVE STRUCTURAL FILL. IF THE UNDERLYING SUBGRADE SOILS RUT DEEPER THAN ONE INCH UNDER THE CONSTRUCTION EQUIPMENT OR IF THE MOISTURE CONTENT EXCEEDS THAT NEEDED FOR PROPER COMPACTION, THE SOIL SHALL BE SCARIFIED, DRIED AND RECOMPACTED TO THE REQUIRED SPECIFICATIONS (SEE SECTION 301.03 OF THE IDOT SPECIFICATIONS).
- COMPLETED GRADING (FINISHED FINE GRADE) FOR PROPOSED PAVEMENT SUBGRADE AREAS, BUILDING PADS, AND YARD/OPEN SPACE AREAS SHALL BE WITHIN A TOLERANCE OF PLUS OR MINUS ONE-TENTH OF A FOOT (0.1') OF DESIGN SUBGRADE ELEVATIONS.
- THE SUBGRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AS WELL AS THE CITY OF WARRENVILLE PERSONNEL AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE ENGINEER AND SOILS ENGINEER. ANY UNDERCUT AND REPLACE NECESSARY WILL BE MEASURED FOR PAVEMENT AT THE CONTRACT UNIT PRICE.

PREPARED FOR:
ATLANTIC REALTY PARTNERS
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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

EVERTON APARTMENTS

FILE NAME: APT GENNOTES	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = NONE	2 of 20

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

CITY OF WARRENVILLE STANDARD SPECIFICATIONS
WATER MAIN, SANITARY SEWER AND STORM SEWER

WATER MAIN

1. ALL OPEN CUT WATER MAIN SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) PRESSURE PIPE PER AWWA SPECIFICATION C-900, CLASS 150 (DR-18). THE ABOVE PIPE AND FITTINGS SHALL BE FURNISHED WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM F477. TRENCH BACKFILL SHALL BE UTILIZED TO TWELVE INCHES (12") ABOVE THE TOP OF THE PVC WATER MAIN.
2. ALL WATER MAIN INSTALLED BY HORIZONTAL DIRECTIONAL DRILLING SHALL BE PVC PER AWWA SPECIFICATION C-900 WITH CERTALOK JOINTS. ASSEMBLY AND INSTALLATION OF PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL MATERIAL SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY AND APPROVED PRIOR TO INSTALLATION.
3. ONE ¼" DIAMETER STAINLESS STEEL WIRES OR A SOLOSHOT 845 EHS TRACER WIRE AS MANUFACTURED BY COPPERHEAD OR APPROVED EQUAL SHALL BE INSTALLED DIRECTLY OVER THE CENTER OF THE WATER MAIN IN THE TRENCH WITH A MAXIMUM SEPARATION OF FOUR INCHES (4") ABOVE THE PIPE. THE TRACER WIRE WILL BE INSTALLED WITH THE WATER MAIN AND ATTACHED TO ALL IN-LINE VALVES, HYDRANT VALVES, HYDRANTS AND SERVICE LINES TO INSURE SIGNAL CONDUCTIVITY ALONG ALL PORTIONS OF THE NEW MAIN.
4. FITTINGS SHALL BE DUCTILE IRON, 250 PSI PRESSURE RATING, CEMENT MORTAR LINED WITH RESTRAINED PUSH-ON JOINT OR MECHANICAL JOINT WITH MEGALUG RETAINER GLANDS, OR APPROVED EQUAL.
5. WATER MAIN BOLTS SHALL BE STAINLESS STEEL ASTM 304.
6. RESTRAINED JOINTS – ALL FITTINGS SHALL HAVE RESTRAINED JOINTS. ALL WATER MAIN PIPING IN CASING SHALL HAVE RESTRAINED JOINTS. RESTRAINED JOINTS SHALL BE PUSH JOINT WITH A FIELD LOCK GASKET OR A MECHANICAL JOINT WITH MEGALUG RETAINER GLANDS, OR APPROVED EQUAL. ALL BENDS, TEES, AND DEAD END PIPING MUST BE RESTRAINED A MINIMUM OF 24" IN BOTH DIRECTIONS OF THE FITTING. THRUST CEMENT BLOCKING OF ALL FITTINGS, HYDRANTS, AND DEAD END PIPING IS REQUIRED.
7. PRESSURE CONNECTIONS – PRESSURE TAPPING SLEEVES SHALL BE ALL STAINLESS STEEL.
8. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES INSTALLED IN A PRECAST CONCRETE VAULT. VALVES SHALL BE MUELLER, WATEROUS, OR CLOW MANUFACTURE. ALL BOLTS SHALL BE STAINLESS STEEL.
9. VALVE VAULTS SHALL BE PRE-CAST CONCRETE UNITS. FOR WATER MAINS 8-INCH DIAMETER OR LESS, THE VAULT SHALL BE 48-INCH INSIDE DIAMETER. FOR WATER MAINS 10-INCH DIAMETER AND GREATER, THE VAULT SHALL BE 60-INCH INSIDE DIAMETER.
10. FRAMES AND LIDS SHALL CONFORM TO NEENAH FOUNDRY R-1713 OR APPROVED EQUAL AND THE WORD "WATER" SHALL BE CAST IN THE COVER.
11. CASING – SPACERS ALL JOINTS WITHIN THE CASING SHALL BE RESTRAINED. SPACERS SHALL BE INSTALLED ON ALL PIPE IN CASING. SPACERS SHALL BE BOLT ON STYLE WITH A SHALL MADE IN TWO SECTIONS OF HEAVY T-304 STAINLESS STEEL. CASING SHALL BE FILLED WITH PEA GRAVEL OR SAND AND SEALED AT BOTH ENDS.
12. ALL DUCTILE IRON PIPES AND FITTINGS ARE REQUIRED TO BE ENCASED IN 8-MIL POLYETHYLENE CONFORMING TO AWWA C-105.
13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND SUPPLY CERTIFICATION FOR ALL MATERIALS. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY BEFORE INSTALLATION.
14. DEPTH OF BURY FOR WATER MAIN TO BE 5'-6" (MINIMUM).
15. INSTALLATION SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION.

FIRE HYDRANTS

1. HYDRANT SHALL BE FM APPROVED AND UL LISTED, SHALL CONFORM TO AWWA C-502, AND SHALL HAVE BREAKAWAY SAFETY FLANGES.
2. HYDRANTS SHALL BE MUELLER CENTURION, WATEROUS WB67-250, OR CLOW MEdALLION.
3. ALL BOLTS SHALL BE STAINLESS STEEL FROM AND INCLUDING THE BREAKAWAY FLANGE TO THE INLET ON THE HYDRANT SHOE.
4. ALL HYDRANTS SHALL HAVE A BRONZE CROSS ARM / TOP PLATE.
5. CONNECTING PIPING SHALL BE SIX-INCH (6") DIAMETER SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) PRESSURE PIPE PER AWWA SPECIFICATION C-900, CLASS 150 (DR-18). THE ABOVE PIPE AND FITTINGS SHALL BE FURNISHED WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM F477.
6. MAIN VALVE OPENING SHALL BE FIVE AND ONE QUARTER INCH (5-1/4") IN DIAMETER, COMPRESSION TYPE, WITH A BRASS DRAIN VALVE.
7. NOZZLES SHALL HAVE THREADED MALE ENDS CONFORMING TO "AMERICAN NATIONAL STANDARD FIRE HOSE CONNECTION SCREW THREADS. THE HYDRANT SHALL HAVE TWO NOZZLES OF 63 MM WHICH ARE 2-1/2" AND ONE PUMPER NOZZLE OF 114 MM (4-1/2") WITH CAPS AND CHAINS.
8. HYDRANTS SHALL HAVE A MINIMUM WORKING PRESSURE OF 175 PSI.
9. HYDRANTS SHALL OPEN IN A COUNTER-CLOCKWISE DIRECTION, AS INDICATED BY AN ARROW AND THE WORD "OPEN" ON THE DOME.
10. HYDRANTS SHALL BE PAINTED A HIGH VISIBILITY RED, FACTORY APPLIED PAINT. HYDRANTS SHALL HAVE A SIX-INCH (6") AUXILIARY VALVE WITH BOX ON THE INLET PIPING. VALVE SHALL MEET WATER MAIN PIPING SPECIFICATIONS FOR THE CITY OF WARRENVILLE. AUXILIARY VALVE ATTACHED TO HYDRANT SHALL HAVE STAINLESS STEEL BOLTS AT THE FLANGE INLET.
11. CONNECTION OF SIX-INCH (6") PIPING SHALL BE RESTRAINED JOINTS FROM THE TEE AT THE WATER MAIN TO THE INLET OF THE HYDRANT WITH FIELD LOCK GASKETS FOR PUSH JOINT AND MEGALUG RETAINER GLANDS, OR APPROVED EQUAL FOR MECHANICAL JOINT.

WATER SERVICES

1. FOR WATER SERVICES 2-INCH DIAMETER AND LESS SHALL BE TYPE "K" COPPER ONLY WITH A MINIMUM SIZE OF ONE-INCH (1") DIAMETER.
2. BRASS SHALL BE MUELLER OR FORD. ALL BRASS IS PREFERRED TO HAVE COMPRESSION FITTINGS. COMPRESSION FITTINGS MUST BE OF THE STAINLESS FULL CIRCLE RING RETAINAGE. NO SET SCREWS ARE ALLOWED. FLAIR FITTING ARE ACCEPTABLE.
3. B-BOXES SHALL BE OF THE ARCH PATTERN DESIGN WITH A TELESCOPING ONE AND ONE QUARTER-INCH (1-1/4") IRON PIPE UPPER SECTION, PENTAGON NUT ACCESS, ENLARGED BASE FOR 1-1/2" ROUNDWAYS AND LARGER, MANUFACTURED IN THE USA.
4. TAPPING SADDLE AT MINIMUM SHALL BE EPOXY COATED DUCTILE WITH TWO STAINLESS STEEL BANDS. ALL STAINLESS STEEL SADDLES ARE ACCEPTABLE. MANUFACTURED IN USA.
5. ALL REPAIR CLAMPS SHALL BE FULL CIRCLE STAINLESS STEEL.
6. DEPTH OF BURY FOR WATER SERVICES TO BE 5'-6" (MINIMUM) TO 6'-6" (MAXIMUM).

SANITARY SEWER

1. ALL SANITARY SEWER AND SANITARY SEWER SERVICE PIPE SHALL BE SDR 26 ASTM D-2241 AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM D-3139 OR EQUIVALENT. NOTE: THIS IS A PRESSURE RATED PIPE.
2. SANITARY SEWER SERVICES SHALL BE A MINIMUM OF 6-INCHES IN DIAMETER.
3. ALL SANITARY SEWERS SHALL BE AIR AND MANDREL TESTED, AND TELEVISED, INCLUDING PRIVATE COMMERCIAL LINES BETWEEN INSPECTION MANHOLE AND THE PUBLIC SANITARY SEWER. COPIES OF DVDS AND REPORTS SHALL BE PROVIDED TO THE CITY.
4. SANITARY SEWER MANHOLES SHALL HAVE OPENINGS FOR THE PIPE CONNECTIONS CAST INTO THE WALL OF THE STRUCTURE. RUBBER GASKETED COUPLING (BOOT) WITH STAINLESS STEEL BANDS / RETAINERS SHALL BE PER ASTM C-923.
5. WHEN CONNECTING TO AN EXISTING MANHOLE, THE HOLE MUST BE CORED AND A RUBBER GASKETED COUPLING (BOOT) WITH STAINLESS STEEL BANDS / RETAINERS SHALL BE PER ASTM C-923. THE BENCH SHALL BE REMOVED AND REPOURED, IF NECESSARY. RUBBER BOOTS/SEALS MUST BE USED WHERE PIPES ENTER MANHOLES. THE INTERNAL CONNECTION SHALL BE DRESSED UP WITH NON-SHRINK HYDRAULIC CEMENT. HYDRAULIC CEMENT, MORTAR, AND CONCRETE MUST BE OF THE STRENGTH AND WATER-TIGHTNESS QUALITY AS SPECIFIED IN THE ASTM STANDARDS
6. WHEN CONNECTING A NEW SANITARY SERVICE TO AN EXISTING SANITARY SEWER MAIN WITHOUT AN EXISTING WYE, CONTACT PUBLIC WORKS TO DETERMINE WHICH ONE OF THE TWO FOLLOWING METHODS SHALL BE USED:
A. A SECTION OF THE MAIN SHALL BE CUT OUT TO INSTALL A NEW WYE. CONNECTION BETWEEN THE EXISTING SANITARY SEWER AND THE NEW WYE SHALL BE MADE WITH NON-SHEAR MISSION COUPLINGS WITH TWO STAINLESS STEEL BANDS TO A POINT WHERE THE COUPLING CANNOT SHIFT.
B. CORE THE EXISTING MAIN AND MAKE THE CONNECTION WITH AN INSERTA TEE CONNECTION OR AN APPROVED EQUAL
7. SANITARY MANHOLES SHALL BE PRE-CAST CONCRETE UNITS. FOR SANITARY SEWERS 18-INCH DIAMETER OR LESS, THE MANHOLE SHALL BE 48-INCH INSIDE DIAMETER. FOR SANITARY SEWERS 21-INCH DIAMETER AND LARGER, THE MANHOLE SHALL BE 60-INCH INSIDE DIAMETER.
8. FRAMES AND LIDS SHALL CONFORM TO NEENAH FOUNDRY R-1713 OR APPROVED EQUAL OR OTHERWISE NOTED IN PLANS AND THE WORD "SANITARY" SHALL BE CAST IN THE COVER. THE LID SHALL BE A SELFSEALING LID WITH WATERTIGHT GASKET AND CONCEALED PICKHOLE. ANY MANHOLE WITHIN A FLOODPLAIN SHALL HAVE A WATERTIGHT, BOLTDOWN FRAME AND LID, NEENAH R-1916-F1 OR APPROVED EQUAL.
9. ALL COMMERCIAL BUILDINGS SHALL HAVE AN INSPECTION MANHOLE.
10. MANHOLE SECTIONS AND ADJUSTING RINGS SHALL BE SEALED WITH BUTYL ROPE.
11. SANITARY MANHOLES SHALL HAVE A POURED CONCRETE BENCH.
12. RUNGS / STEPS SHALL BE INSTALLED IN MANHOLES UNLESS SPECIFICALLY PROHIBITED.
13. EXTERNAL CHIMNEY SEALS AND MACWRAP WILL BE REQUIRED WITH ALL SANITARY MANHOLES. THE FRAME, CHIMNEY, AND TOP "LIP" OF THE CONE SECTION SHALL BE REQUIRED TO BE SEALED WITH A CHIMNEY SEAL. THIS SHOULD BE OBSERVED BY THE CITY PRIOR TO BACKFILLING.
14. NO GROUND WATER WILL BE ALLOWED TO ENTER THE SANITARY SEWER DURING OR AFTER CONSTRUCTION.
15. NO MORE THAN TWELVE INCHES (12") OF ADJUSTING RINGS ARE ALLOWED.

STORM SEWER

1. ALL STORM SEWERS 18-INCH DIAMETER AND LESS SHALL BE PVC SDR26 WITH PIPES AND FITTINGS MEETING ASTM D-3034.
2. ALL RCP STORM SEWERS SHALL BE INSTALLED WITH RUBBER GASKET JOINTS.
3. THE MINIMUM STORM SEWER SIZE ALLOWED IN THE PUBLIC RIGHT-OF-WAY WILL BE 10-INCH DIAMETER UNLESS CONDITIONS WARRANT A SMALLER SIZE.
4. ON PRIVATE PROPERTY, STORM SEWER INSTALLED TO DRAIN AN EXISTING DEPRESSIONAL AREA SHALL GENERALLY BE SIX-INCH OR EIGHT-INCH (6" OR 8") DIAMETER, UNLESS A LARGER SIZE IS SUPPORTED BY CALCULATIONS.
5. STORM MANHOLES AND CATCH BASINS SHALL BE PRE-CAST CONCRETE UNITS. FOR STORM SEWERS 21-INCH DIAMETER OR LESS, THE MANHOLE SHALL BE 48-INCH INSIDE DIAMETER. FOR STORM SEWERS 24-INCH THROUGH 42-INCH DIAMETER, THE MANHOLE SHALL BE 60-INCH INSIDE DIAMETER. FOR STORM SEWERS 48-INCH DIAMETER AND LARGER, THE MANHOLE SHALL BE 72-INCH INSIDE DIAMETER.
6. RUNGS / STEPS SHALL BE INSTALLED IN MANHOLES UNLESS SPECIFICALLY PROHIBITED.
7. THE MINIMUM SIZE STRUCTURE SHALL BE A 2-FOOT DIAMETER PRECAST CONCRETE INLET, UNLESS CONDITIONS WARRANT A DIFFERENT STRUCTURE.
8. FRAMES AND LIDS SHALL CONFORM TO NEENAH FOUNDRY R-1713 OR APPROVED EQUAL AND THE WORD "STORM" SHALL BE CAST IN THE COVER.
9. ALLOWABLE CURB AND PARKWAY CASTINGS FOR INLETS AND CATCH BASINS:
A. WHEN A BARRIER CURB IS PRESENT, USE A NEENAH R-3275 FRAME AND GRATE (FOR B-6.12 CURB AND GUTTER, WIDEN GUTTER SECTION TO ACCOMMODATE LARGER GRATE).
B. FOR SOME SLOPE CONDITIONS WHEN A BARRIER TYPE CURB IS PRESENT, A NEENAH R-3065-L FRAME AND GRATE MAY BE USED (FOR B-6.12 CURB AND GUTTER, WIDEN GUTTER SECTION TO ACCOMMODATE LARGER GRATE).
C. WHEN ROLL CURB IS PRESENT, USE A NEENAH R-3501-P FRAME AND GRATE.
D. IN LAWN AREAS, USE BEEHIVE TYPE GRATE, NEENAH R-4340-B.
E. IN LAWN AREAS WHERE A LOT OF TREES ARE PRESENT, IN PUBLIC RIGHT-OF-WAY AND IN DITCHES, USE STOOL TYPE GRATE, NEENAH R-4342.
F. WHEN APPLICABLE IN PARKING LOTS OR LAWN AREAS, USE ROUND GRATE NEENAH R-2502-A.
ROUND GRATES WILL NOT BE ALLOWED IN THE STREET. EQUIVALENT SUBSTITUTIONS MAY BE PERMITTED, IF APPROVED BY PUBLIC WORKS.

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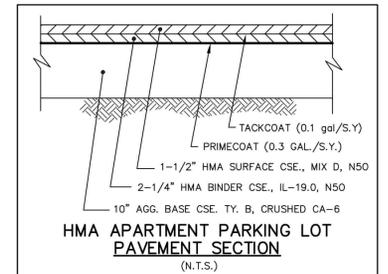
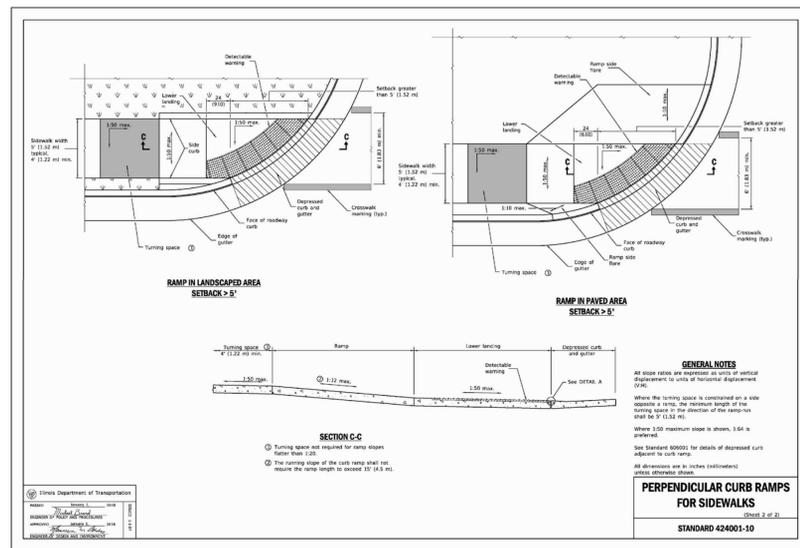
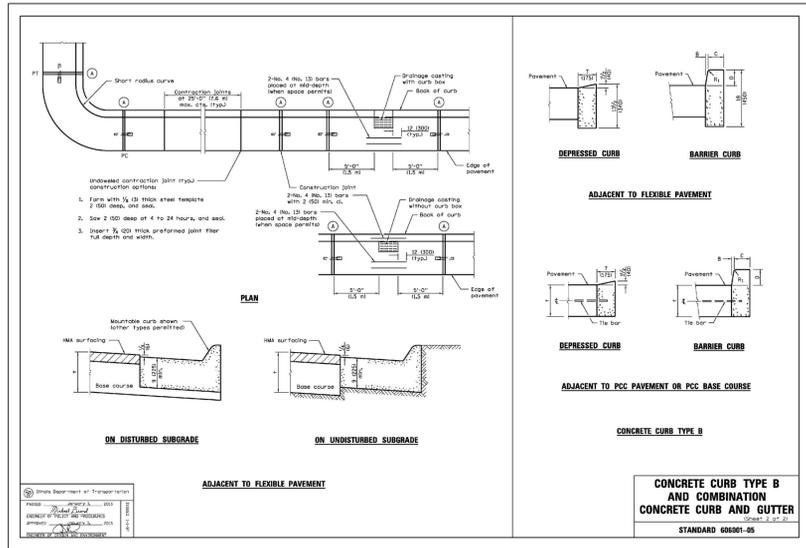
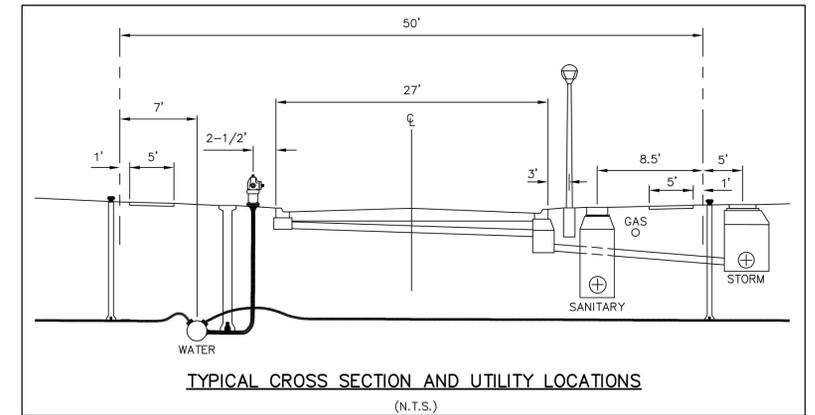
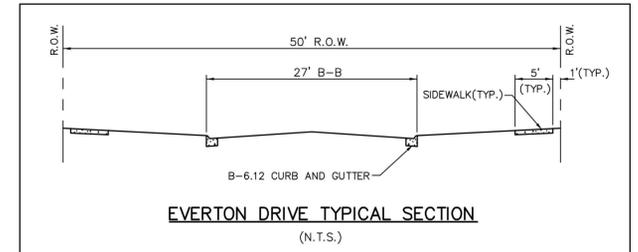
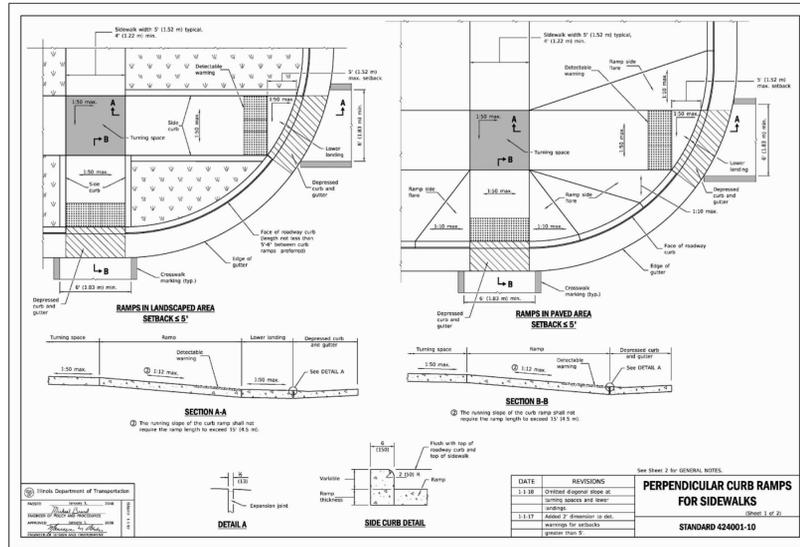
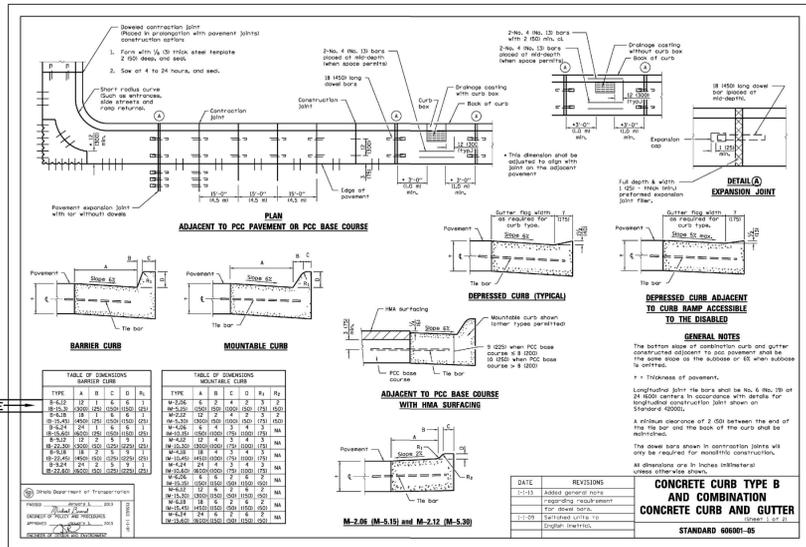
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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

CONSTRUCTION SPECIFICATIONS – GENERAL NOTES

EVERTON APARTMENTS

FILE NAME: APT GENNOTES	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = NONE	3 of 20



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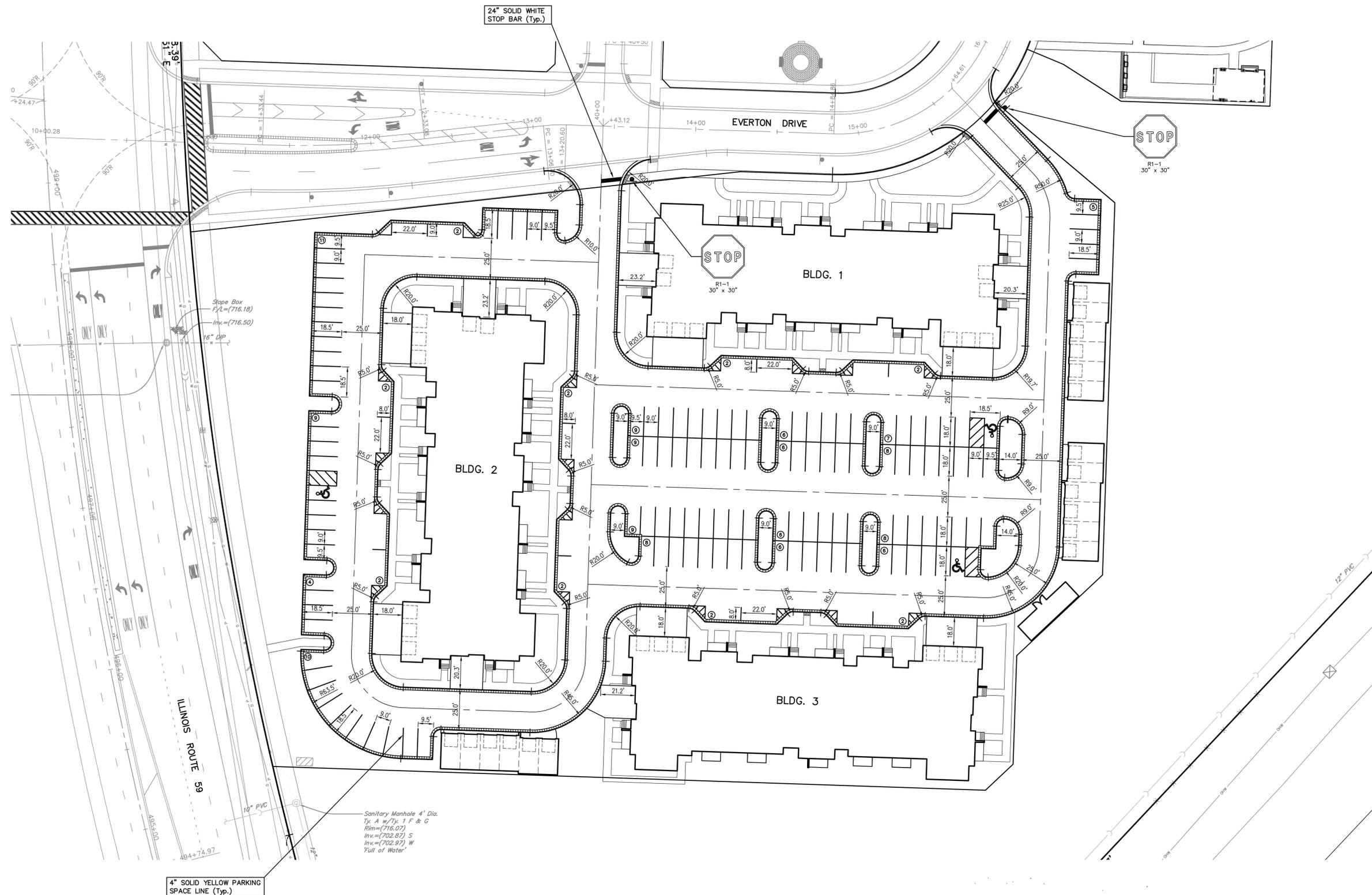
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NO.		DATE		DESCRIPTION	

STREET PAVEMENT DESIGN AND DETAILS
EVERTON APARTMENTS

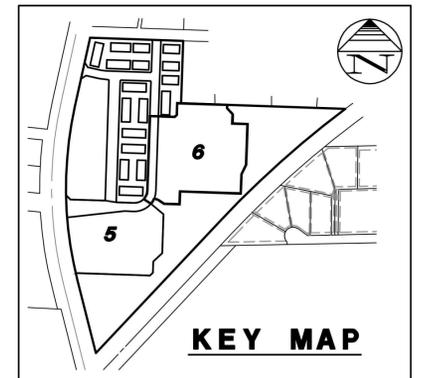
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DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = N.T.S.	

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- LEGEND**
- INDICATES B-6.12 CURB AND GUTTER
 - INDICATES REVERSE PITCH B-6.12 CURB AND GUTTER
 - INDICATES DEPRESSED CURB
 - INDICATES DETECTABLE WARNING STRIP
 - INDICATES ASPHALT PATH
 - INDICATES PARKING STALL COUNT
 - INDICATES SIGN LOCATION

- CURB DIMENSION NOTES**
1. ALL CURB DIMENSIONS ARE BACK OF CURB TO BACK OF CURB.
 2. CURB ALONG BUILDINGS DIMENSIONED FROM BACK OF CURB TO FACE OF BUILDING.
 3. ALL RADI ARE 4.5' TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
 4. ALL PARKING STALLS ADJACENT TO ISLANDS ARE 9.5' WIDE (BACK OF CURB TO STRIPE), ALL OTHER STALLS ARE 9.0' WIDE (STRIPE TO STRIPE) (Typ.).
 5. ALL "ADA" PARKING STALLS ADJACENT TO ISLANDS ARE 18.5' WIDE, ALL OTHER "ADA" STALLS ARE 18.0' WIDE (Typ.).



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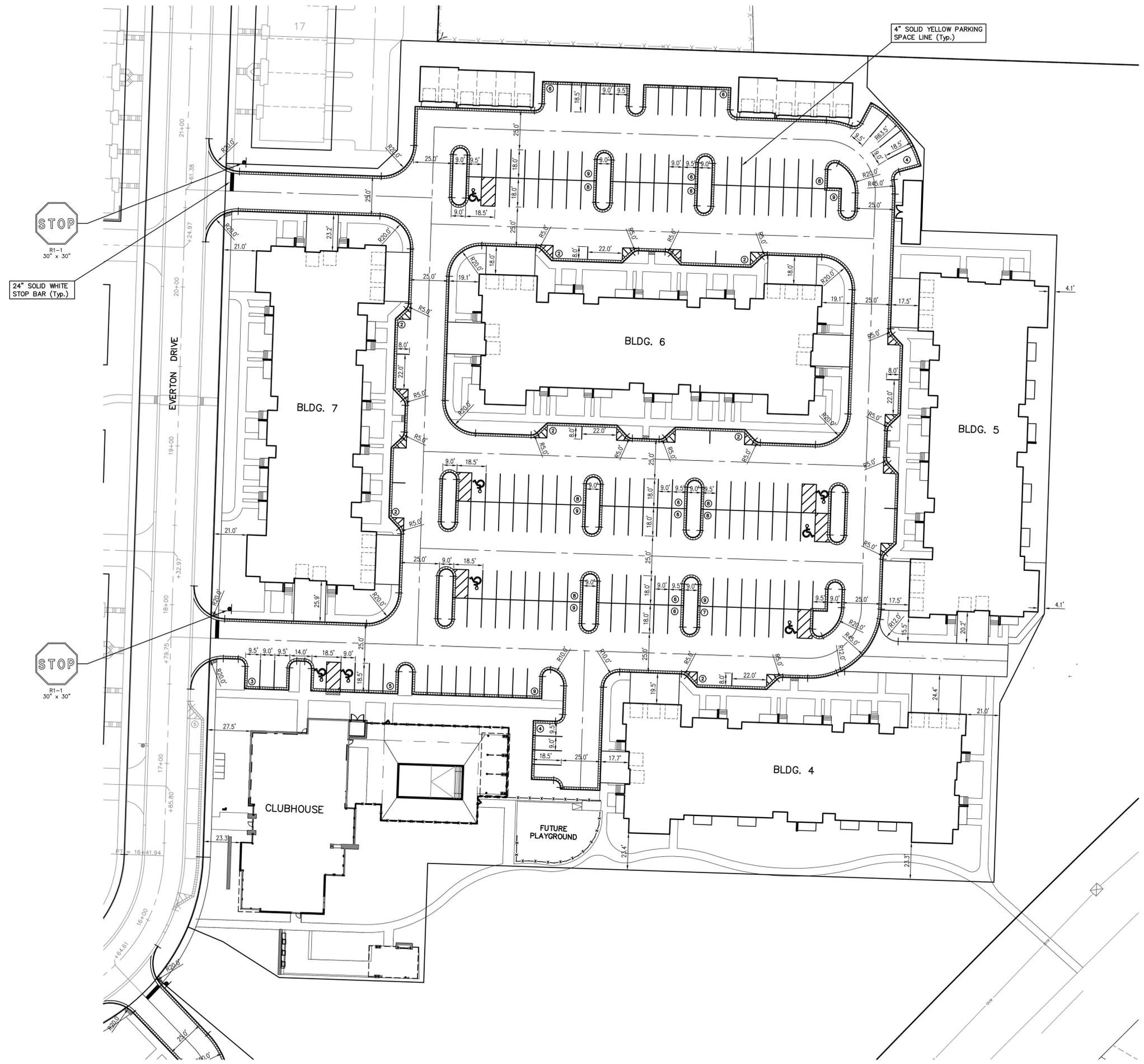
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SOUTHWEST GEOMETRIC STRIPING AND SIGNAGE PLAN

EVERTON APARTMENTS

FILE NAME: APT GEO	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'	5 of 20

PLOT FILE CREATED: 2/5/2019 11:18 PM BY: JEFF CEBULA DRAWING LAST SAVED: 2/4/2019 11:32 AM BY: JEFF CEBULA DRAWING PATH: P:\743014\DWG\ENG\DRAWINGS\FINAL\DRAWING\APARTMENTS\APT_GEO.DWG



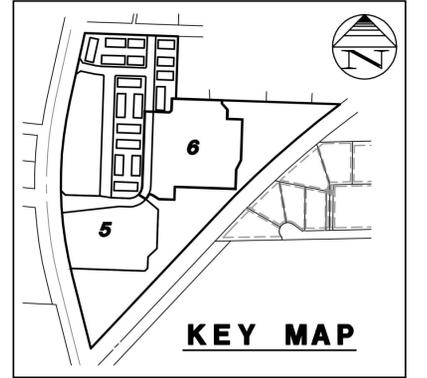
24" SOLID WHITE STOP BAR (Typ.)



4" SOLID YELLOW PARKING SPACE LINE (Typ.)

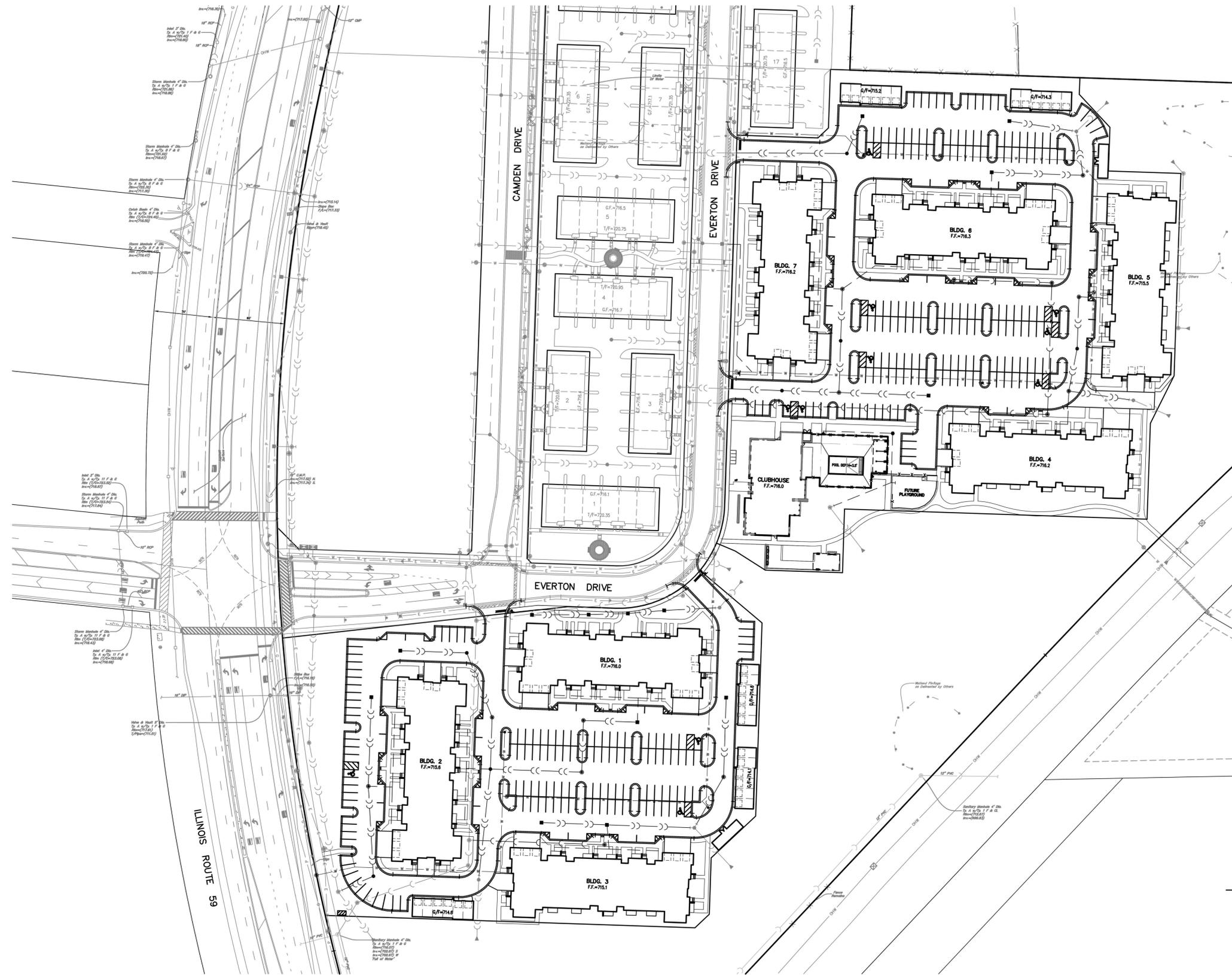
- LEGEND**
- INDICATES B-6.12 CURB AND GUTTER
 - INDICATES REVERSE PITCH B-6.12 CURB AND GUTTER
 - INDICATES DEPRESSED CURB
 - INDICATES DETECTABLE WARNING STRIP
 - INDICATES ASPHALT PATH
 - INDICATES PARKING STALL COUNT
 - INDICATES SIGN LOCATION

- CURB DIMENSION NOTES**
1. ALL CURB DIMENSIONS ARE BACK OF CURB TO BACK OF CURB.
 2. CURB ALONG BUILDINGS DIMENSIONED FROM BACK OF CURB TO FACE OF BUILDING.
 3. ALL RADII ARE 4.5' TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
 4. ALL PARKING STALLS ADJACENT TO ISLANDS ARE 9.5' WIDE (BACK OF CURB TO STRIPE), ALL OTHER STALLS ARE 9.0' WIDE (STRIPE TO STRIPE) (Typ.).
 5. ALL "ADA" PARKING STALLS ADJACENT TO ISLANDS ARE 18.5' WIDE, ALL OTHER "ADA" STALLS ARE 18.0' WIDE (Typ.).



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NORTHEAST GEOMETRIC STRIPING AND SIGNAGE PLAN		
EVERTON APARTMENTS		
JOB NO.: 841.001	DATE: 02-05-19	SHEET NO. 6 of 20
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FILE NAME: APT GEO	FLD. BK./PG.: ---	
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LEGEND

SYMBOL	DESCRIPTION
⊗	STREET LIGHT
⊕	STREET LIGHT w/STREET SIGN
⊙	STREET SIGN
—E—	COMM. EDISON CO. ELECTRIC SERVICE
▨	CONDUIT CROSSING, 4" PVC SCH. 40
(L No.)	NUMBERING SYSTEM USED ON PLANS FOR LIGHT POLE / STREET LIGHT IDENTIFICATION

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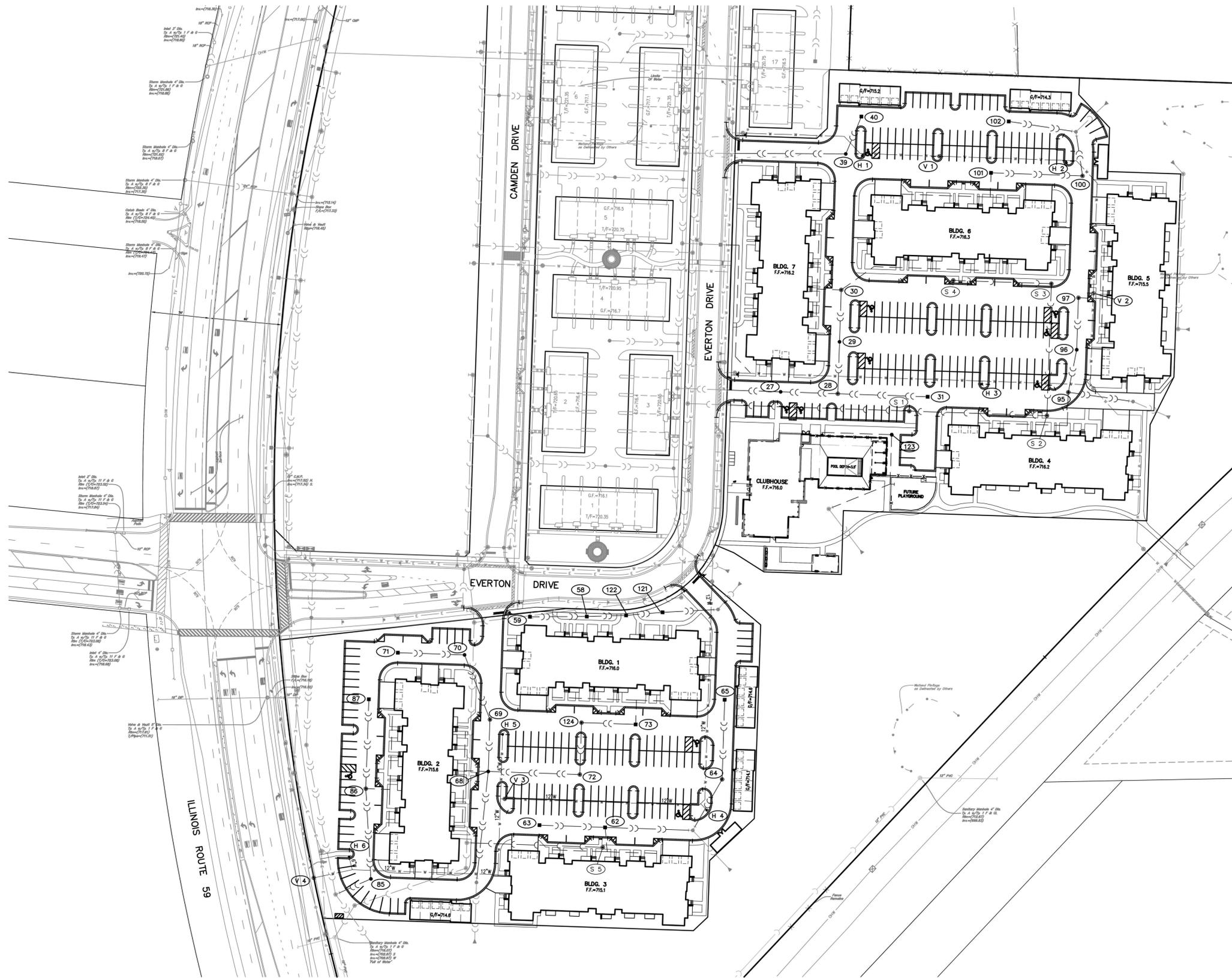
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OVERALL LIGHTING PLAN AND DETAILS
EVERTON APARTMENTS

FILE NAME: APT UTILITY	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO. 7 of 20
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 60'	

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LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM SEWER
		STORM MANHOLE
		CATCH BASIN INLET
		CLEANOUT
		SLOPE INLET BOX
		HEADWALL
		END SECTION
		SUMP DRAIN CONDUIT
		SANITARY SEWER
		SANITARY MANHOLE
		WATERMAIN
		VALVE & BOX
		WATER VALVE IN VAULT
		FIRE HYDRANT
		ADA DETECTABLE WARNING STRIPS

PROPOSED	DESCRIPTION
	NUMBERING SYSTEM USED ON PLANS FOR DRAINAGE STRUCTURE IDENTIFICATION
	NUMBERING SYSTEM USED ON PLANS FOR SANITARY MANHOLE IDENTIFICATION
	NUMBERING SYSTEM USED ON PLANS FOR FIRE HYDRANT IDENTIFICATION
	NUMBERING SYSTEM USED ON PLANS FOR VALVE VAULT IDENTIFICATION

NOTE: ALL SANITARY SEWER SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.
 ALL WATERMAIN SHALL BE 8 INCH DIA. UNLESS OTHERWISE NOTED.

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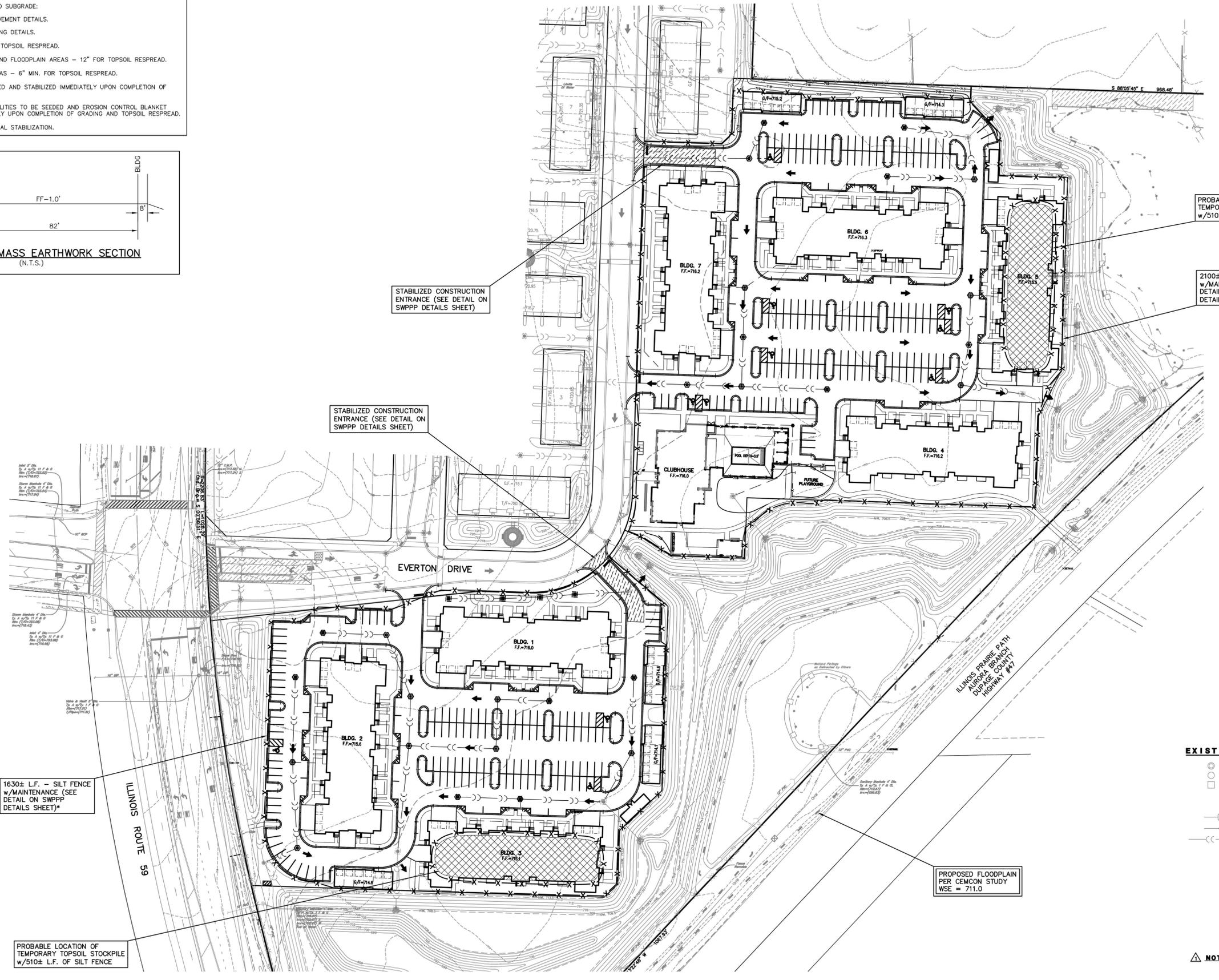
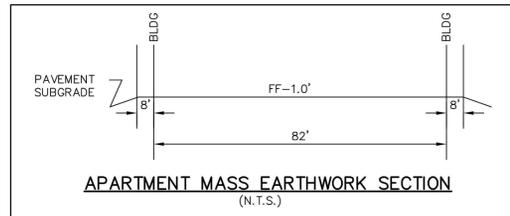
NO.		DATE		DESCRIPTION	

**MASTER UTILITY PLAN
 EVERTON APARTMENTS**

FILE NAME: APT UTILITY	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 60'	8 of 20

MASS EARTHWORK NOTES

- 1). DEPTH FROM FINISHED GRADE TO SUBGRADE:
 - A. PAVEMENT AREAS - SEE PAVEMENT DETAILS.
 - B. BUILDING PADS - SEE BUILDING DETAILS.
 - C. COMMERCIAL LOT - 12" FOR TOPSOIL RESPREAD.
 - D. STORMWATER MANAGEMENT AND FLOODPLAIN AREAS - 12" FOR TOPSOIL RESPREAD.
 - E. ALL OTHER OPEN SPACE AREAS - 6" MIN. FOR TOPSOIL RESPREAD.
- 2). COMMERCIAL AREA TO BE SEEDED AND STABILIZED IMMEDIATELY UPON COMPLETION OF GRADING AND TOPSOIL RESPREAD.
- 3). STORMWATER MANAGEMENT FACILITIES TO BE SEEDED AND EROSION CONTROL BLANKET PLACED ON ALL SLOPES IMMEDIATELY UPON COMPLETION OF GRADING AND TOPSOIL RESPREAD.
- 4). SEE LANDSCAPE PLANS FOR FINAL STABILIZATION.



PROBABLE LOCATION OF TEMPORARY TOPSOIL STOCKPILE w/510± L.F. OF SILT FENCE

2100± L.F. - SILT FENCE w/MAINTENANCE (SEE DETAIL ON SWPPP DETAILS SHEET)*

*NOTE: SILT FENCE TO BE ADDED/RELOCATED AS NECESSARY DURING THE PHASE CONSTRUCTION OF THE BUILDINGS.

STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL ON SWPPP DETAILS SHEET)

STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL ON SWPPP DETAILS SHEET)

1630± L.F. - SILT FENCE w/MAINTENANCE (SEE DETAIL ON SWPPP DETAILS SHEET)*

PROPOSED FLOODPLAIN PER CEMCON STUDY WSE = 711.0

PROBABLE LOCATION OF TEMPORARY TOPSOIL STOCKPILE w/510± L.F. OF SILT FENCE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
○	●	MANHOLE
□	■	CATCH BASIN
	▣	INLET
	▤	CLEANOUT
	▥	SLOPE INLET BOX
	▧	HEADWALL
	▨	END SECTION
	▩	STORM SEWER
	▪	'CATCH-ALL' (OR EQUIVALENT) INLET BASKET PROTECTOR (w/MAINTENANCE)
	⊗	TEMPORARY SEDIMENT BASIN DEWATERING DEVICE
	⊗	SILT FENCE WITH MAINTENANCE
	⊗	RIP-RAP
	➔	OVERFLOW ROUTE
	⊗	PROBABLE TOPSOIL STOCKPILE LOCATIONS

NOTE: FOR STORM SEWER STRUCTURE NUMBERS SEE MASTER UTILITY PLAN.

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PREPARED FOR:
ATLANTIC REALTY PARTNERS
 3500 LENOX ROAD
 SUITE 1250
 ATLANTA, GA 30326



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REVISIONS	
NO.	DATE

STORMWATER POLLUTION PREVENTION PLAN
EVERTON APARTMENTS

FILE NAME: APT_SOILERO	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO. 9 of 20
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 60'	

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STORMWATER POLLUTION PREVENTION PLAN

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF THE NPDES GENERAL PERMIT NUMBER LR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

THE PERMITEE MUST COMPLY WITH ALL CONDITIONS OF THE GENERAL PERMIT. ANY PERMIT NO-COMPLIANCE CONSTITUTES A VIOLATION OF THE ILLINOIS ENVIRONMENTAL PROTECTION ACT AND THE CLEAN WATER ACT AND IS GROUNDS FOR ENFORCEMENT ACTION; FOR PERMIT TERMINATION, REVOCATION AND REISSUANCE, OR MODIFICATION, OR FOR DENIAL OF A PERMIT RENEWAL APPLICATION.

ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY WORK COMMENCING.

NO STOCKPILES ARE ALLOWED WITHIN THE LIMITS OF FLOODPLAIN, WETLANDS AND BUFFER AREAS.

1. SITE DESCRIPTION

A. THE FOLLOWING IS A DESCRIPTION OF THE CONSTRUCTION ACTIVITY WHICH IS THE SUBJECT OF THIS PLAN:

THE CONSTRUCTION OF SITE INFRASTRUCTURE IMPROVEMENTS TO SERVE A RESIDENTIAL SUBDIVISION, INCLUDING GRADING OF THE SITE, STORM SEWERS AND SERVICES, SANITARY SEWERS AND SERVICES, WATER MAINS AND SERVICES, STREET PAVEMENTS, SIDEWALKS, STREET LIGHTING, EROSION AND SEDIMENTATION CONTROL MEASURES, AND VEGETATIVE STABILIZATION AND BEST MANAGEMENT PRACTICES.

B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH WILL DISTURB SOILS FOR MAJOR PORTIONS OF THE CONSTRUCTION SITE:

- (1.) EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SUCH AS SILT FENCE, TRIANGULAR SILT DIKES, INLET FILTER INSERTS.
- (2.) STORM SEWER INSTALLATIONS AND APPURTENANCES.
- (3.) EXCAVATION AND REMOVAL OF EXCESS TRENCH SPOIL.
- (4.) TOPSOIL PLACEMENT, FINE GRADING AND VEGETATIVE RESTORATION.

C. THE TOTAL AREA OF THE PROJECT IS ESTIMATED TO BE APPROXIMATELY 10.4± ACRES. THE TOTAL AREA OF THE PROJECT ESTIMATED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES IS APPROXIMATELY 10.4± ACRES.

D. THE ESTIMATED RUNOFF CURVE NUMBER OF THE PROJECT SITE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED IS 92.0. INFORMATION DESCRIBING THE SOILS AT THE SITE IS CONTAINED IN THE SOILS REPORTS FOR THE PROJECT ON FILE WITH THE OWNER/DEVELOPER.

E. THESE PLAN DOCUMENTS CONTAIN SITE MAP(S) INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF MAJOR SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLAND), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

F. THE IMMEDIATE RECEIVING WATER IS THE TRIBUTARY TO MISTY CREEK AND WAUBONSEE CREEK.

2. CONTROLS

THIS SECTION OF THE PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED IN 1.B ABOVE. FOR EACH MEASURE DISCUSSED, THE CONTRACTORS AND SUB-CONTRACTOR WILL BE RESPONSIBLE FOR ITS IMPLEMENTATION AS INDICATED. EACH SUCH CONTRACTOR OR SUB-CONTRACTOR MUST SIGN THE REQUIRED CERTIFICATION ON THIS PLAN.

A. EROSION AND SEDIMENT CONTROLS.

THE PERMITEE SHALL DESIGN, INSTALL AND MAINTAIN EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE OF POLLUTANTS. AT A MINIMUM, SUCH CONTROLS MUST BE DESIGNED, INSTALLED AND MAINTAINED TO:

- (i) CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION;
- (ii) CONTROL STORMWATER DISCHARGES, INCLUDING BOTH PEAK FLOWRATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE DOWNSTREAM CHANNEL AND STREAMBANK EROSION;
- (iii) MINIMIZE THE AMOUNT OF SOIL EXPOSED DURING CONSTRUCTION ACTIVITY;
- (iv) MINIMIZE THE DISTURBANCE OF STEEP SLOPES;
- (v) MINIMIZE SEDIMENT DISCHARGES FROM THE SITE. THE DESIGN, INSTALLATION AND MAINTENANCE OR EROSION AND SEDIMENT CONTROLS MUST ADDRESS FACTORS SUCH AS THE AMOUNT, FREQUENCY, INTENSITY AND DURATION OF PRECIPITATION, THE NATURE OF RESULTING STORM WATER RUNOFF, AND SOIL CHARACTERISTICS, INCLUDING THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE;
- (vi) PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, UNLESS INFEASIBLE; AND
- (vii) MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

B. STABILIZATION PRACTICES.

THE STORMWATER POLLUTION PREVENTION PLAN SHALL INCLUDE A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE PRACTICABLE AND THAT DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE: TEMPORARILY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, STAGED OR STAGGERED DEVELOPMENT, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE INCLUDED IN THE PLAN. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED AS PROVIDED IN PARAGRAPHS (i) AND (ii) BELOW.

(i) WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

(ii) ON AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD CAN BE USED. TEMPORARY STABILIZATION TECHNIQUES AND MATERIALS SHALL BE DESCRIBED IN THE SWPPP.

THE FOLLOWING INTERIM AND PERMANENT STABILIZATION PRACTICES, AS A MINIMUM, WILL BE IMPLEMENTED TO STABILIZE THE DISTURBED AREA OF THE SITE:*

RIP-RAP
EROSION CONTROL BLANKET

(1.) STRUCTURAL PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF STRUCTURAL PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT. *

INLET PROTECTORS
SILT FENCE
STABILIZED CONSTRUCTION ENTRANCE

(2.) BEST MANAGEMENT PRACTICES. PROVIDED BELOW IS A DESCRIPTION OF THE BEST MANAGEMENT PRACTICES THAT WILL BE IMPLEMENTED, TO THE DEGREE ATTAINABLE, TO REDUCE SUSPENDED SOLIDS, TURBIDITY, SILTATION, AND POLLUTION IN STORMWATER RUNOFF. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT. *

STORMWATER MANAGEMENT FACILITIES WITH PERMANENT POOL AND VEGETATED WETLAND PLANTINGS
TEMPORARY RETENTION VEGETATED SWALES
MESIC PRAIRIE UPPER SLOPE PLANTINGS
WET PRAIRIE LOWER SLOPE PLANTINGS
SHALLOW MARSH BASIN BOTTOM PLANTINGS
LANDSCAPED BUFFERS

C. STORMWATER MANAGEMENT

PROVIDED BELOW IS A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORMWATER DISCHARGE THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CLEAN WATER ACT.

(1.) THE PRACTICES SELECTED FOR IMPLEMENTATION WERE DETERMINED ON THE BASIS OF THE TECHNICAL GUIDANCE IN SECTION 10-300 (DESIGN CONSIDERATIONS) IN CHAPTER 10 (EROSION AND SEDIMENTATION CONTROL) OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DRAINAGE MANUAL AND THE NRCS ILLINOIS URBAN MANUAL (JANUARY 2002 VERSION).

(2.) VELOCITY DISSIPATION DEVICES WILL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., MAINTENANCE OF HYDRAULIC CONDITIONS, SUCH AS THE HYDROPERIOD AND HYDRODYNAMICS PRESENT PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES).

STORMWATER MANAGEMENT CONTROL INCLUDES: *

STORM WATER DETENTION STRUCTURES WITH PERMANENT WET BASINS
STORM WATER RETENTION STRUCTURES
FLOW ATTENUATION VIA VEGETATED SWALES AND NATURAL DEPRESSIONS
ON-SITE INFILTRATION OF RUNOFF
SEQUENTIAL STORMWATER TREATMENT
OPEN VENTILATED SWALES

D. OTHER CONTROLS

(1.) WASTE DISPOSAL. THE SOLID WASTE MATERIALS INCLUDING TRASH, CONSTRUCTION DEBRIS, EXCESS CONSTRUCTION MATERIALS, MACHINERY, TOOLS AND OTHER ITEMS WILL BE COLLECTED AND DISPOSED OFF-SITE BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ANY PERMIT REQUIRED FOR SUCH DISPOSAL. BURNING ON THE SITE WILL NOT BE PERMITTED. SOLID WASTE MATERIALS, INCLUDING BUILDING MATERIALS, SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

(2.) THE PROVISIONS OF THIS PLAN SHALL ENSURE AND DEMONSTRATE COMPLIANCE WITH APPLICABLE STATE AND/OR LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.

E. APPROVED STATE OR LOCAL PLANS

THE MANAGEMENT PRACTICES, CONTROLS AND PROVISIONS CONTAINED IN THIS PLAN WILL BE IN ACCORDANCE WITH IDOT SPECIFICATIONS, WHICH ARE AT LEAST AS PROTECTIVE AS THE REQUIREMENTS CONTAINED IN THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S ILLINOIS URBAN MANUAL, 2002. REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION SITE PLANS OR SITE PERMITS OR STORM WATER REQUIREMENTS SPECIFIED IN SEDIMENT AND EROSION SITE PLANS OR SITE PERMITS OR STORM WATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY LOCAL OFFICIALS THAT ARE APPLICABLE TO PROTECTING SURFACE WATER RESOURCES ARE, UPON SUBMITTAL OF AN NOI TO BE AUTHORIZED TO DISCHARGE UNDER PERMIT ILR10 INCORPORATED BY REFERENCE AND ARE ENFORCEABLE UNDER THIS PERMIT EVEN IF THEY ARE NOT SPECIFICALLY INCLUDED IN THE PLAN.

*REFER TO LISTED PLAN SHEETS FOR SPECIFIC MATERIALS AND CONSTRUCTION DETAILS

PLAN SHEET NAMES:
CONSTRUCTION SPECIFICATIONS
STORMWATER POLLUTION PREVENTION PLAN
OVERALL SOIL EROSION, SEDIMENTATION CONTROL PLAN AND DETAILS
DRAINAGE AND GRADING PLANS
DRAINAGE STRUCTURE DETAILS

3. MAINTENANCE

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT WILL BE USED TO MAINTAIN IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN.

A. STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. THIS WILL BE DONE BY WASHING THE ASPHALT ENTRANCE. THE SEDIMENT WASHED ONTO THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.

B. VEGETATIVE EROSION CONTROL MEASURES: THE VEGETATIVE GROWTH OF TEMPORARY AND PERMANENT SEEDING, SODDING, VEGETATIVE CHANNELS, VEGETATIVE FILTER, ETC. SHALL BE MAINTAINED PERIODICALLY AND SUPPLY ADEQUATE WATERING AND FERTILIZER. THE VEGETATIVE COVER SHALL BE REMOVED AND RESEEDED AS NECESSARY.

C. SILT FILTER FENCE: THE DAMAGED SILT FILTER FENCE SHALL BE INSTALLED, MAINTAINED, RESTORED, OR REPLACED TO MEET THE STANDARDS INCLUDED HEREIN.

D. INLET OR MANHOLE PROTECTORS: THE INLET PROTECTORS OR COIR LOG SILT BARRIER AT HIGH CAPACITY GRATES SHALL BE INSPECTED FREQUENTLY AND SHALL BE REPAIRED OR REMOVED AND REPLACED AS NEEDED.

4. INSPECTIONS

THE OWNER OR ITS DESIGNATED REPRESENTATIVE SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE WHICH HAVE NOT BEEN STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION, PROTECTED WITH STRUCTURAL CONTROL MEASURES, OR LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OF EQUIVALENT SNOWFALL.

A. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHILE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF SITE SEDIMENT TRACKING.

B. BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES IDENTIFIED IN SECTION 1 ABOVE AND POLLUTION PREVENTION MEASURES IDENTIFIED IN SECTION 2 ABOVE SHALL BE REVISED AS APPROPRIATE AS SOON AS PRACTICABLE AFTER SUCH INSPECTION. ANY CHANGES TO THIS PLAN RESULTING FROM THE REQUIRED INSPECTIONS SHALL BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.

C. A REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THIS STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH SECTION 4.B SHALL BE MADE AND RETAINED AS PART OF THE PLAN FOR AT LEAST THREE (3) YEARS AFTER THE DATE OF THE INSPECTION. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI. G OF THE GENERAL PERMIT.

D. IF ANY VIOLATION OF THE PROVISIONS OF THIS PLAN IS IDENTIFIED DURING THE CONDUCT OF THE CONSTRUCTION WORK COVERED BY THIS PLAN, THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL COMPLETE AND FILE AN "INCIDENCE OF NONCOMPLIANCE (ION) REPORT FOR THE IDENTIFIED VIOLATION. THE RESIDENT ENGINEER OR RESIDENT TECHNICIAN SHALL USE FORMS PROVIDED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND SHALL INCLUDE SPECIFIC INFORMATION ON THE CAUSE OF NONCOMPLIANCE, ACTIONS WHICH WERE TAKEN TO PREVENT ANY FURTHER CAUSE OF NONCOMPLIANCE, AND A STATEMENT DETAILING ANY ENVIRONMENTAL IMPACT WHICH MAY HAVE RESULTED FROM THE NONCOMPLIANCE. ALL REPORTS OF NONCOMPLIANCE SHALL BE SIGNED BY A RESPONSIBLE AUTHORITY IN ACCORDANCE WITH PART VI. G OF THE GENERAL PERMIT. THE REPORT OF NONCOMPLIANCE SHALL BE MAILED TO THE FOLLOWING ADDRESS:

ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
DIVISION OF WATER POLLUTION CONTROL
ATTN: COMPLIANCE ASSURANCE SECTION
1021 NORTH GRAND EAST
POST OFFICE BOX 19276
SPRINGFIELD, ILLINOIS 62794-9276

5. NON-STORMWATER DISCHARGES

EXCEPT FOR FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORMWATER THAT MAY BE COMBINED WITH STORMWATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTIVITY ADDRESSED IN THIS PLAN, ARE DESCRIBED BELOW:

- 1. WATERMAIN FLUSHING
- 2. FIRE HYDRANT FLUSHING
- 3. WATERING FOR DUST CONTROL
- 4. IRRIGATION DRAINAGE FOR VEGETATIVE GROWTH FOR SEEDING, ETC.

THE POLLUTION PREVENTION MEASURES AS DESCRIBED BELOW, WILL BE IMPLEMENTED FOR NON-STORMWATER COMPONENTS OF THE DISCHARGE:

THE FIRE HYDRANT AND WATERMAIN SHALL NOT BE FLUSHED DIRECTLY ON THE EXPOSED AREA OR SUBGRADE OF THE PAVEMENT. HOSES SHALL BE USED TO DIRECT THE FLOW INTO THE STORM SEWER SYSTEM, IF AVAILABLE.

THE EROSION DUE TO IRRIGATION OF SEEDING AND DUST CONTROL SHALL BE COLLECTED AND RE-SPREAD ONSITE. TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO CONTROL FUTURE EROSION FROM AREAS PREVIOUSLY ERODED DUE TO IRRIGATION OF SEEDING AND DUST CONTROL.

ALL SITE DE-WATERING, INCLUDING PUMP DISCHARGE, MUST PASS THROUGH THE PROPER STRUCTURAL PRE-SEDIMENTATION BASINS OR EQUAL STRUCTURAL CONTROLS BEFORE LEAVING THE SITE.

6. PLAN REVIEW

THE PERMITEE SHALL MAKE PLANS AVAILABLE UPON REQUEST FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) OR A LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM SEWER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SYSTEM WITH AN NPDES PERMIT, TO THE MUNICIPAL OPERATOR OF THE SYSTEM.

THE IEPA MAY NOTIFY THE PERMITEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF PART IV. OF THE GENERAL PERMIT. SUCH NOTIFICATION SHALL IDENTIFY THOSE PROVISIONS OF THE PERMIT WHICH ARE NOT BEING MET BY THE PLAN, AND IDENTIFY WHICH PROVISIONS OF THE PLAN REQUIRES MODIFICATIONS IN ORDER TO MEET THE MINIMUM REQUIREMENTS OF PART IV. OF THE GENERAL PERMIT. WITHIN SEVEN (7) DAYS FROM THE RECEIPT OF THE NOTIFICATION FROM THE IEPA, THE PERMITEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO THE IEPA A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE. FAILURE TO COMPLY SHALL TERMINATE AUTHORIZATION UNDER THE GENERAL PERMIT.

7. AMENDMENTS

THE PERMITEE SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM THE SOURCES IDENTIFIED UNDER 2. (CONTROLS) ABOVE, OR OTHERWISE ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE IEPA IN THE SAME MANNER AS 6. (PLAN REVIEW) ABOVE.

8. RECORDS

THE PERMITEE SHALL RETAIN COPIES OF THE PLAN AND ALL REPORTS AND NOTICES REQUIRED BY THE GENERAL PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THE GENERAL PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED. THE PERIOD MAY BE EXTENDED BY THE REQUEST OF THE IEPA AT ANY TIME.

THE PERMITEE SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THE GENERAL PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

9. CONTRACTORS

THIS PLAN REQUIRES IDENTIFICATION FOR EACH MEASURE IN THE PLAN, THE CONTRACTOR(S) OR SUBCONTRACTOR(S) THAT WILL IMPLEMENT THE IDENTIFIED MEASURE:

CONTRACTOR(S): _____
ADDRESS: _____

PHONE: _____

MEASURES IMPLEMENTED: _____

SUB-CONTRACTOR(S): _____
ADDRESS: _____

PHONE: _____

MEASURES IMPLEMENTED: _____

SUB-CONTRACTOR(S): _____
ADDRESS: _____

PHONE: _____

MEASURES IMPLEMENTED: _____

ALL CONTRACTORS AND SUB-CONTRACTORS IDENTIFIED ABOVE SHALL SIGN THE FOLLOWING CERTIFICATION STATEMENT BEFORE CONDUCTING ANY PROFESSIONAL SERVICE AT THE IDENTIFIED SITE. SIGNATURES SHALL BE PROVIDED BY A RESPONSIBLE CORPORATE OFFICER:

CERTIFICATION STATEMENT: I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONWIDE POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (LR100000) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR: _____
SIGNATURE: _____ DATE: _____

CONTRACTOR: _____
SIGNATURE: _____ DATE: _____

SUB-CONTRACTOR: _____
SIGNATURE: _____ DATE: _____

SUB-CONTRACTOR: _____
SIGNATURE: _____ DATE: _____

SUB-CONTRACTOR: _____
SIGNATURE: _____ DATE: _____

MAINTENANCE SCHEDULE

ALL SEDIMENT BASINS TO BE INSPECTED REGULARLY AND SEDIMENT PLUMES TO BE REMOVED ON AN AS NEEDED BASIS AND AT PROJECT CLOSE OUT.

SOIL SLOPES OF THE BASINS TO BE INSPECTED REGULARLY AND ANY GULLY OR OTHER EROSION TO BE REPAIRED ON AN AS NEEDED BASIS.

SCOUR PROTECTION AT THE FLARED END SECTIONS SHALL BE INSPECTED REGULARLY AND REPAIRED AS NECESSARY.

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DRAWING CREATED: 2/5/2019 1:19 PM BY: JEFF CEBULA

PREPARED FOR:
ATLANTIC REALTY PARTNERS
3500 LENNOX ROAD
SUITE 1250
ATLANTA, GA 30326

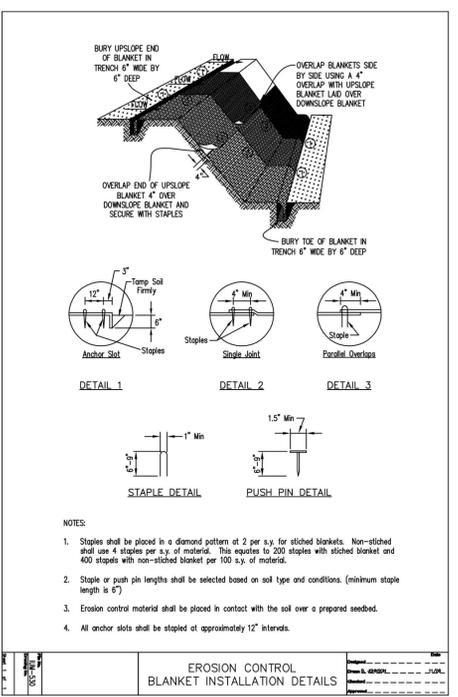
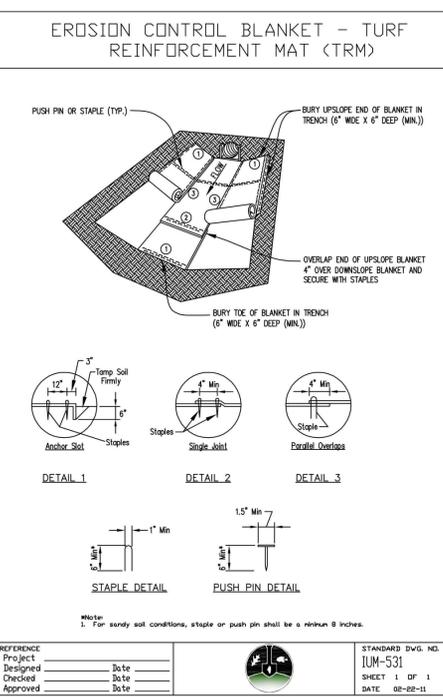
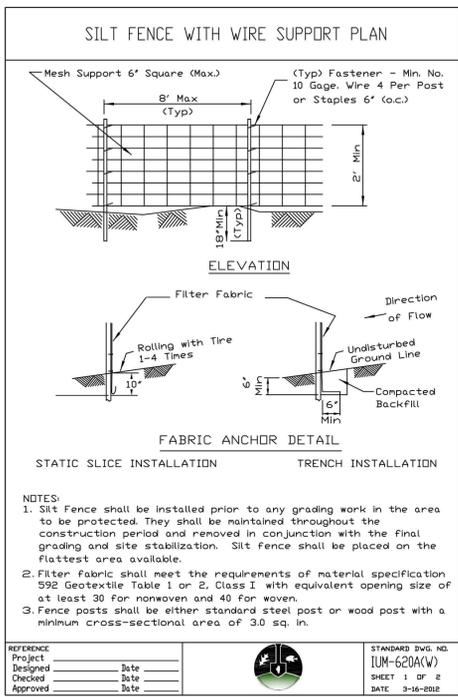
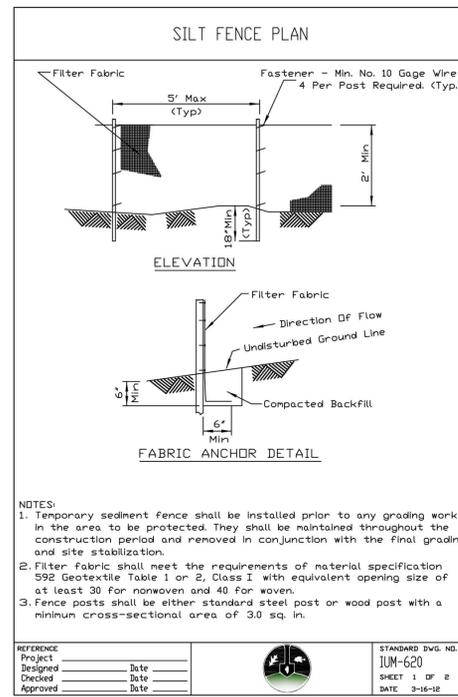
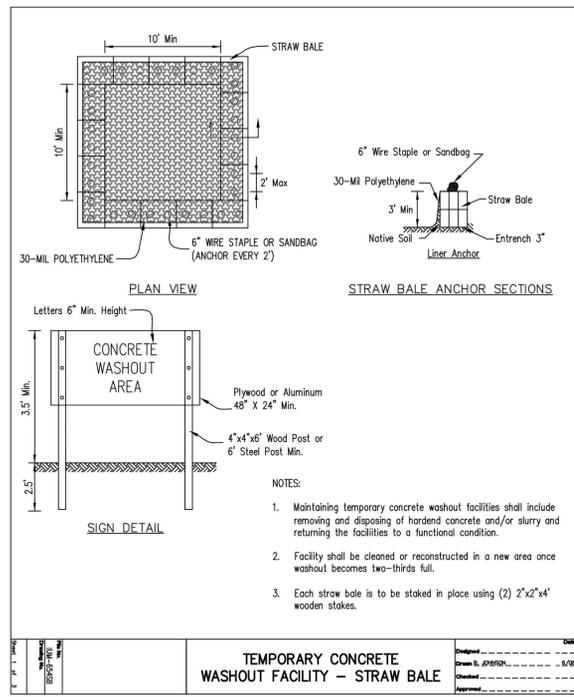


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NO.		DATE		DESCRIPTION	

STORMWATER POLLUTION PREVENTION PLAN NOTES				
EVERTON APARTMENTS				
FILE NAME: APT_SOLLERO	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = NONE	10 of 20

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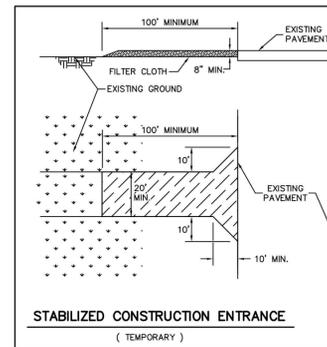
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- ### CONSTRUCTION ENTRANCE SPECIFICATIONS
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - THICKNESS - NOT LESS THAN (8) INCHES.
 - FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Suggested Maintenance Catch-All Inlet Protector

The frequency and degree of maintenance required is dependent on site conditions and rainfall. Certain types of soil and run-off laden with hydrocarbons, (oil, solvents, etc.), tend to "sit-up" the fabric bags more quickly than others.

Generally, the bags can be emptied, inverted, washed, and re-used throughout an entire project. They may also be vacuumed. The bag must be replaced if it is severely worn or torn.

GUIDELINES FOR CONSTRUCTION SITES

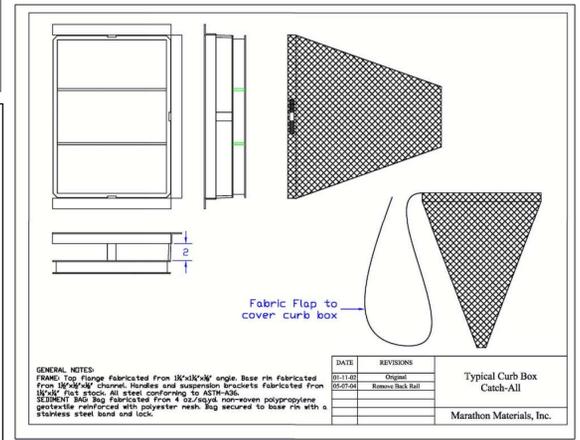
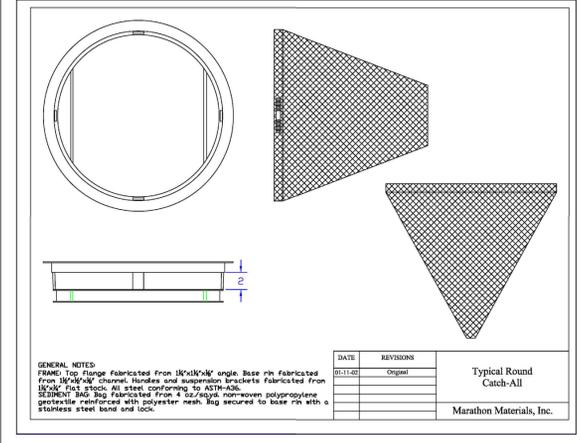
- Inspect the bag at least every 2 weeks - Clean, if needed
- Inspect the bag every time there is rainfall totaling 1 or more inches - Clean, if needed
- Replace the bag if it has a hole in it
- Replace the bag if it appears clean but won't pass water

Suggested Maintenance Catch-All HR

Typically, the Catch-All HR is installed in a paved parking lot or maintenance yard. The degree and frequency of maintenance required is generally far less than for Catch-Alls installed at construction sites.

GUIDELINES FOR PARKING LOTS & MAINTENANCE YARDS

- Inspect the bag at least once per month - Clean, if needed
- Inspect the bag every time there is rainfall totaling more than two inches - Clean, if needed
- Replace the bag every 6 months. More often for harsh environments
- Replace the bag after any oil, coolant, or solvent spill
- Replace the bag if it has a hole in it
- Replace the bag if it appears clean but won't pass water



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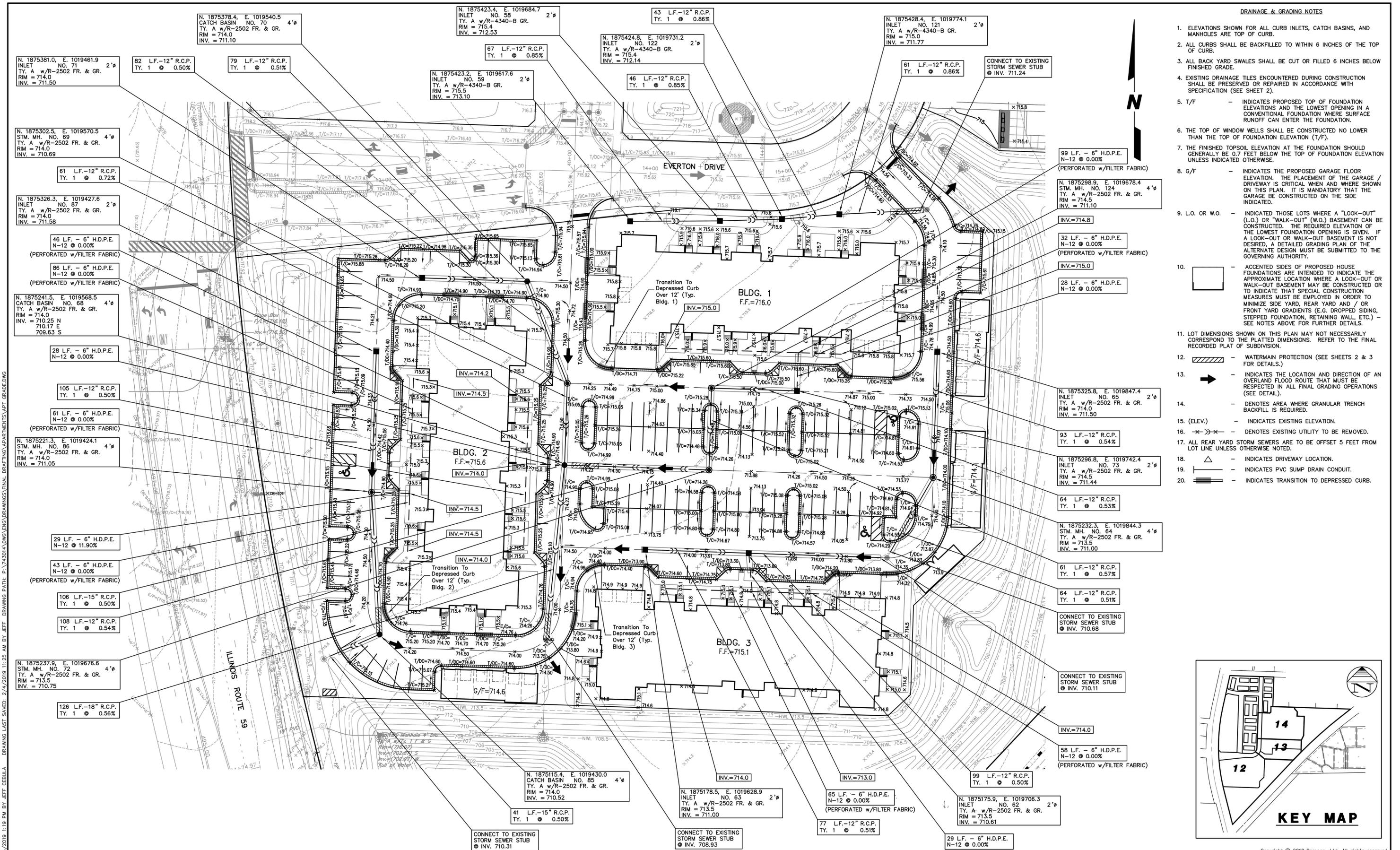


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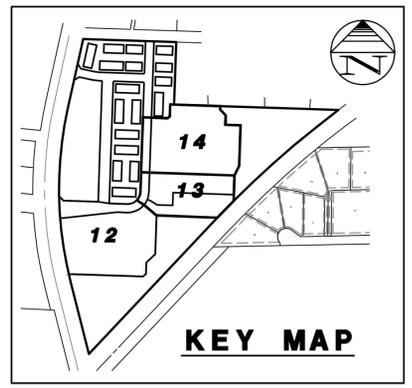
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EVERTON APARTMENTS				
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DRAINAGE & GRADING NOTES

1. ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TOP OF CURB.
2. ALL CURBS SHALL BE BACKFILLED TO WITHIN 6 INCHES OF THE TOP OF CURB.
3. ALL BACK YARD SWALES SHALL BE CUT OR FILLED 6 INCHES BELOW FINISHED GRADE.
4. EXISTING DRAINAGE TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED OR REPAIRED IN ACCORDANCE WITH SPECIFICATION (SEE SHEET 2).
5. T/F - INDICATES PROPOSED TOP OF FOUNDATION ELEVATIONS AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURFACE RUNOFF CAN ENTER THE FOUNDATION.
6. THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN THE TOP OF FOUNDATION ELEVATION (T/F).
7. THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE 0.7 FEET BELOW THE TOP OF FOUNDATION ELEVATION UNLESS INDICATED OTHERWISE.
8. G/F - INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE/DRIVEWAY IS CRITICAL WHEN AND WHERE SHOWN ON THIS PLAN. IT IS MANDATORY THAT THE GARAGE BE CONSTRUCTED ON THE SIDE INDICATED.
9. L.O. OR W.O. - INDICATED THOSE LOTS WHERE A "LOOK-OUT" (L.O.) OR "WALK-OUT" (W.O.) BASEMENT CAN BE CONSTRUCTED. THE REQUIRED ELEVATION OF THE LOWEST FOUNDATION OPENING IS GIVEN. IF A LOOK-OUT OR WALK-OUT BASEMENT IS NOT DESIRED, A DETAILED GRADING PLAN OF THE ALTERNATE DESIGN MUST BE SUBMITTED TO THE GOVERNING AUTHORITY.
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11. LOT DIMENSIONS SHOWN ON THIS PLAN MAY NOT NECESSARILY CORRESPOND TO THE PLATTED DIMENSIONS. REFER TO THE FINAL RECORDED PLAT OF SUBDIVISION.
12.  - WATERMAIN PROTECTION (SEE SHEETS 2 & 3 FOR DETAILS.)
13.  - INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND FLOOD ROUTE THAT MUST BE RESPECTED IN ALL FINAL GRADING OPERATIONS (SEE DETAIL).
14.  - DENOTES AREA WHERE GRANULAR TRENCH BACKFILL IS REQUIRED.
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19.  - INDICATES PVC SUMP DRAIN CONDUIT.
20.  - INDICATES TRANSITION TO DEPRESSED CURB.



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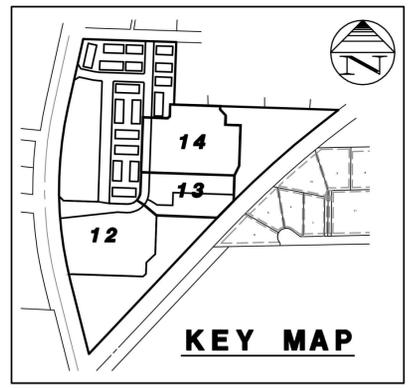
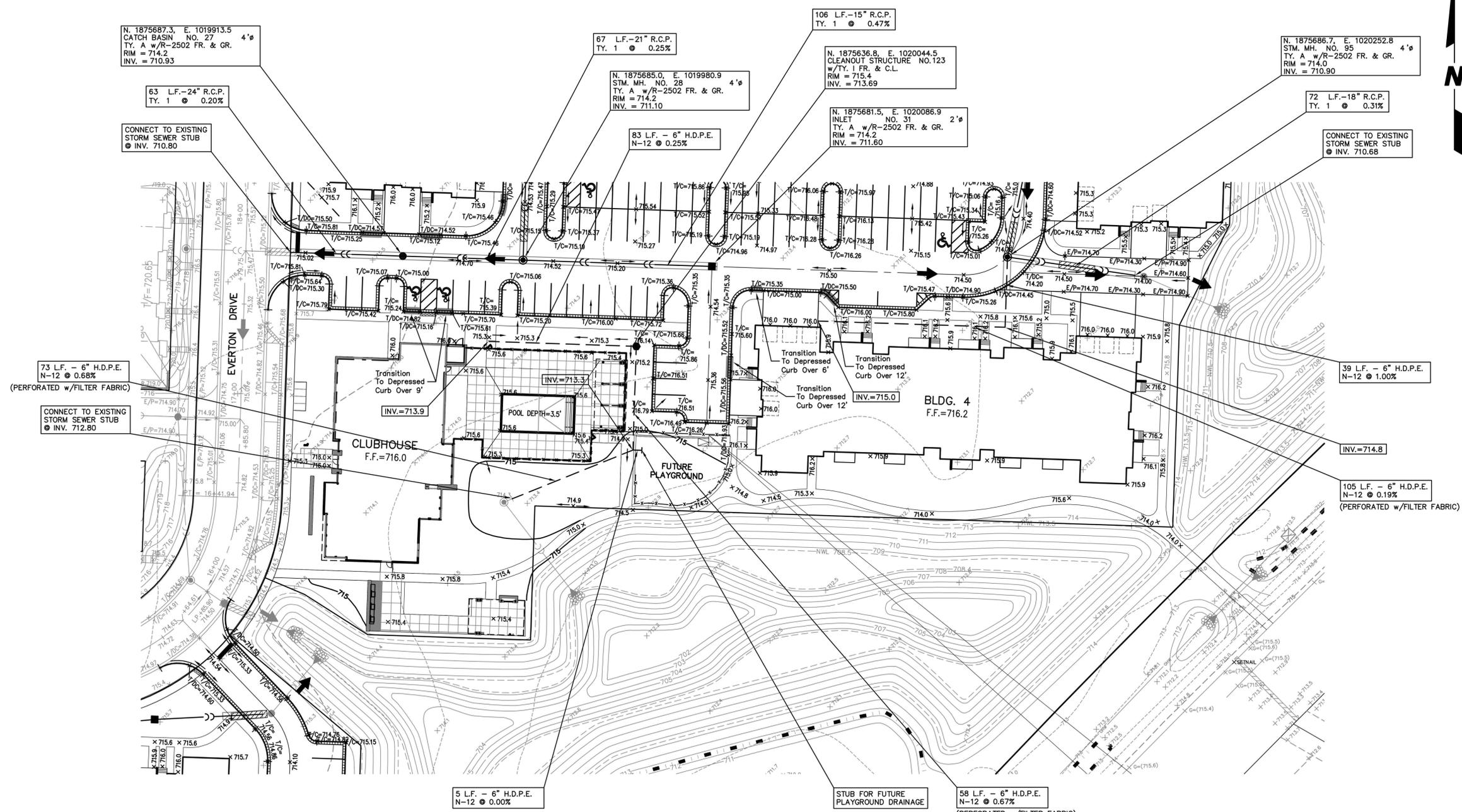
DRAINAGE AND GRADING PLAN
EVERTON APARTMENTS

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DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'	12 of 20

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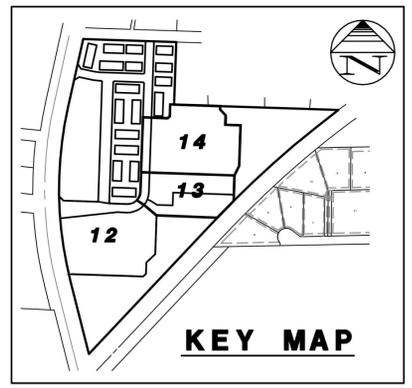
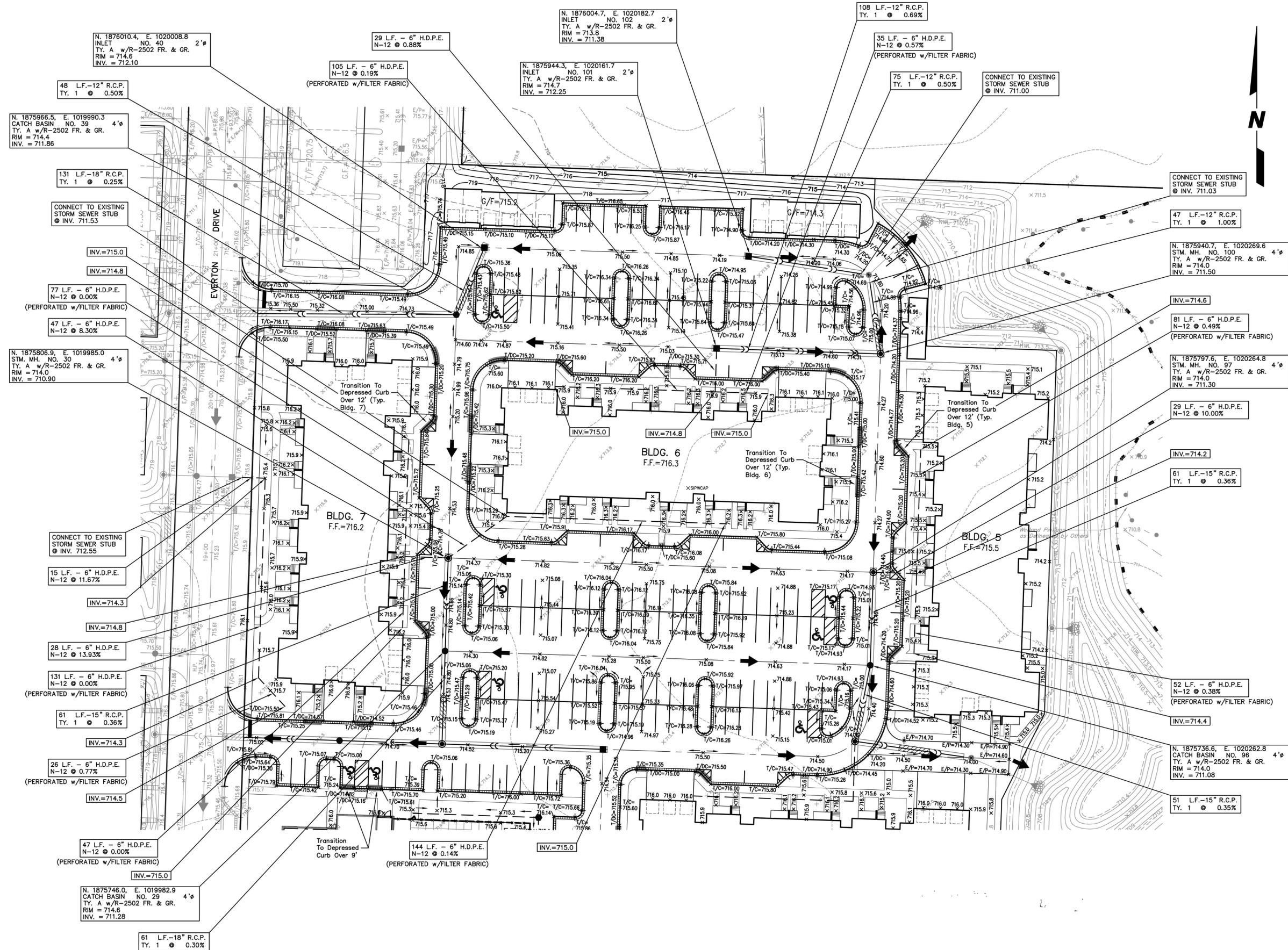
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DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'	13 of 20	

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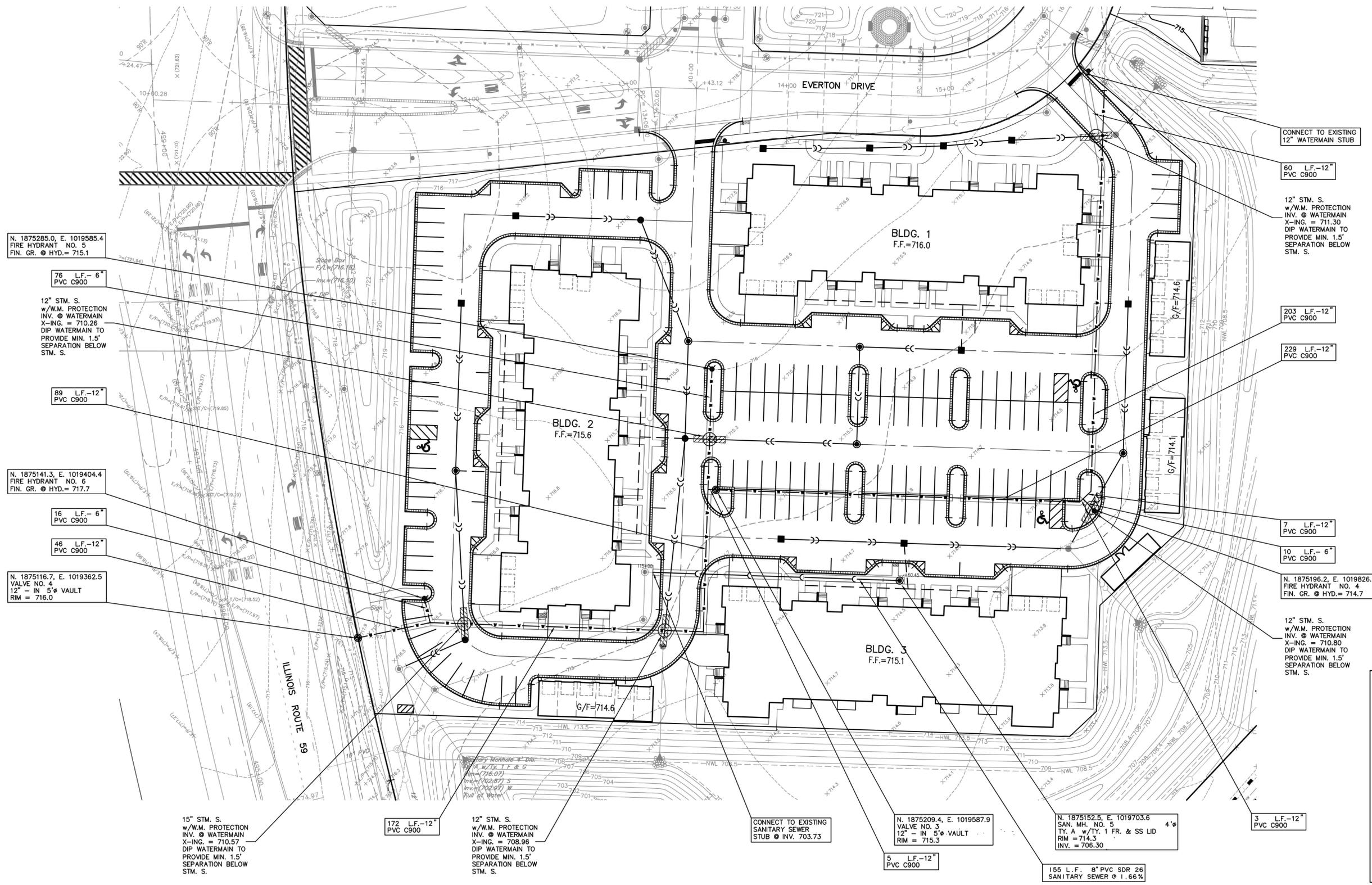
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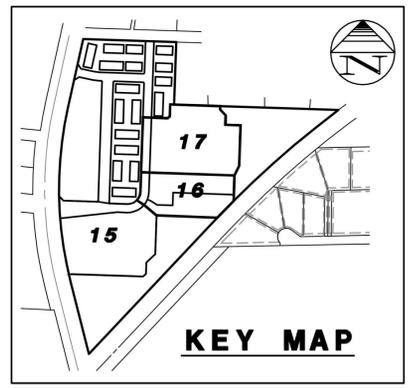
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EVERTON APARTMENTS			
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DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'
SHEET NO.			14 of 20

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SEE SHEET 18 FOR PROFILES OF SANITARY SEWER

- INDICATES TYPE B-6, 12 CURB & GUTTER
- INDICATES TYPE B-6, 12 CURB & GUTTER w/REVERSE PITCH GUTTER FLAG
- INDICATES WATER MAIN PROTECTION
- INDICATES DETECTABLE WARNING STRIP
- INDICATES DEPRESSED CURB
- INDICATES RISER REQUIRED
- INDICATES OVERHEAD SEWER REQUIRED
- INDICATES 6" PVC SDR 26 SANITARY SERVICE w/ MINIMUM 1.0% SLOPE
- INDICATES 2" TYPE K COPPER WATER SERVICE w/B-BOX (SEE DETAIL ON OVERALL SANITARY SEWER AND WATERMAIN PLAN)



N. 1875285.0, E. 1019585.4
FIRE HYDRANT NO. 5
FIN. GR. @ HYD. = 715.1

76 L.F. - 6"
PVC C900

12" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 710.26
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

89 L.F. - 12"
PVC C900

N. 1875141.3, E. 1019404.4
FIRE HYDRANT NO. 6
FIN. GR. @ HYD. = 717.7

16 L.F. - 6"
PVC C900

46 L.F. - 12"
PVC C900

N. 1875116.7, E. 1019362.5
VALVE NO. 4
12" - IN 5' VAULT
RIM = 716.0

15" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 710.57
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

172 L.F. - 12"
PVC C900

12" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 708.96
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

CONNECT TO EXISTING
SANITARY SEWER
STUB @ INV. 703.73

5 L.F. - 12"
PVC C900

N. 1875209.4, E. 1019587.9
VALVE NO. 3
12" - IN 5' VAULT
RIM = 715.3

N. 1875152.5, E. 1019703.6
SAN. MH. NO. 5
TY. A w/TY. 1 FR. & SS LID
RIM = 714.3
INV. = 706.30

155 L.F. - 8" PVC SDR 26
SANITARY SEWER @ 1.66%

CONNECT TO EXISTING
12" WATERMAIN STUB

60 L.F. - 12"
PVC C900

12" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 711.30
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

203 L.F. - 12"
PVC C900

229 L.F. - 12"
PVC C900

7 L.F. - 12"
PVC C900

10 L.F. - 6"
PVC C900

N. 1875196.2, E. 1019826.1
FIRE HYDRANT NO. 4
FIN. GR. @ HYD. = 714.7

12" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 710.80
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

3 L.F. - 12"
PVC C900

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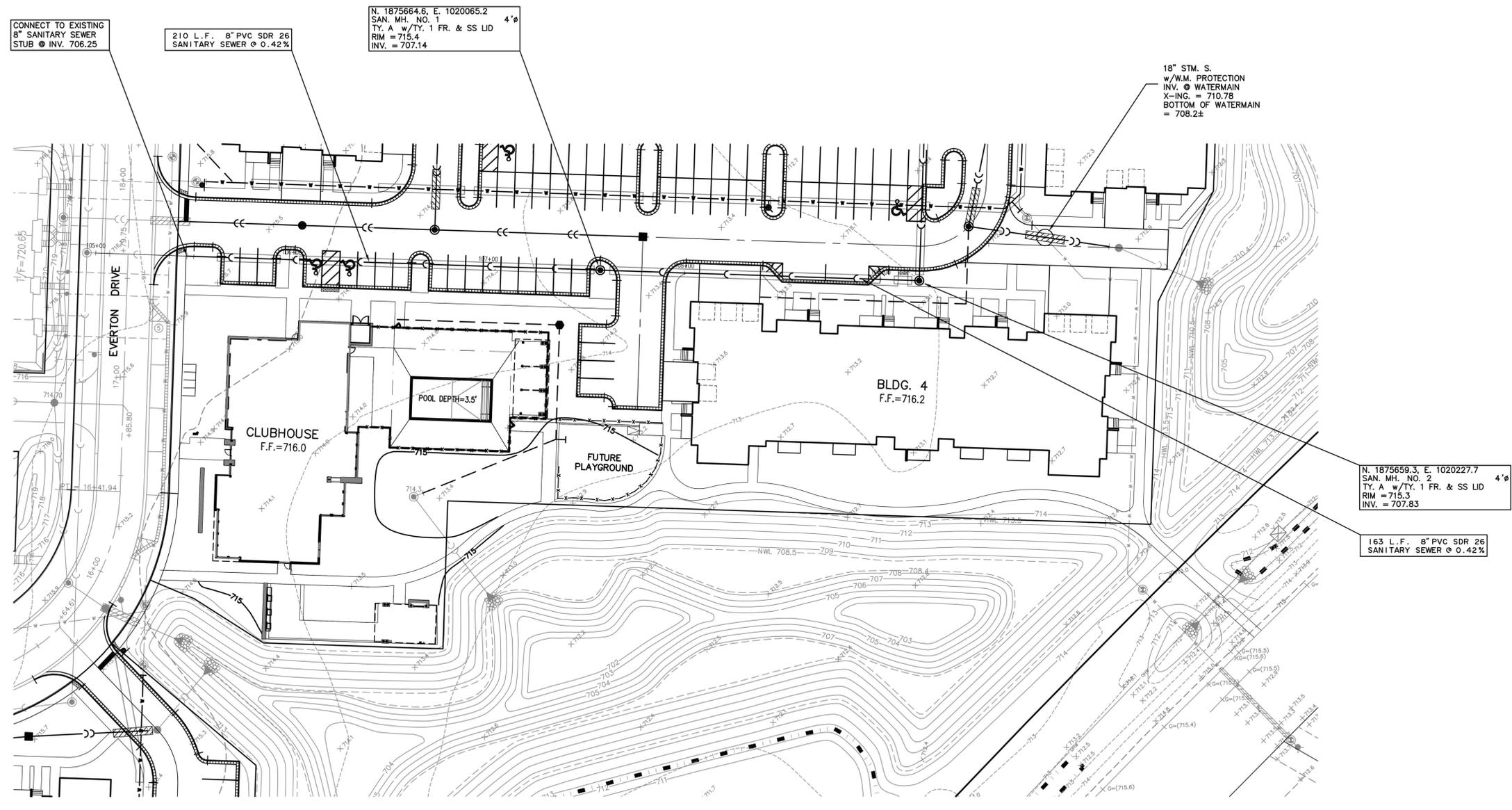
**SANITARY SEWER AND WATERMAIN PLAN
EVERTON APARTMENTS**

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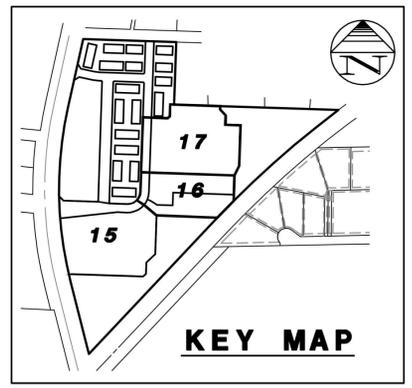
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**SEE SHEET 18
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SANITARY SEWER**

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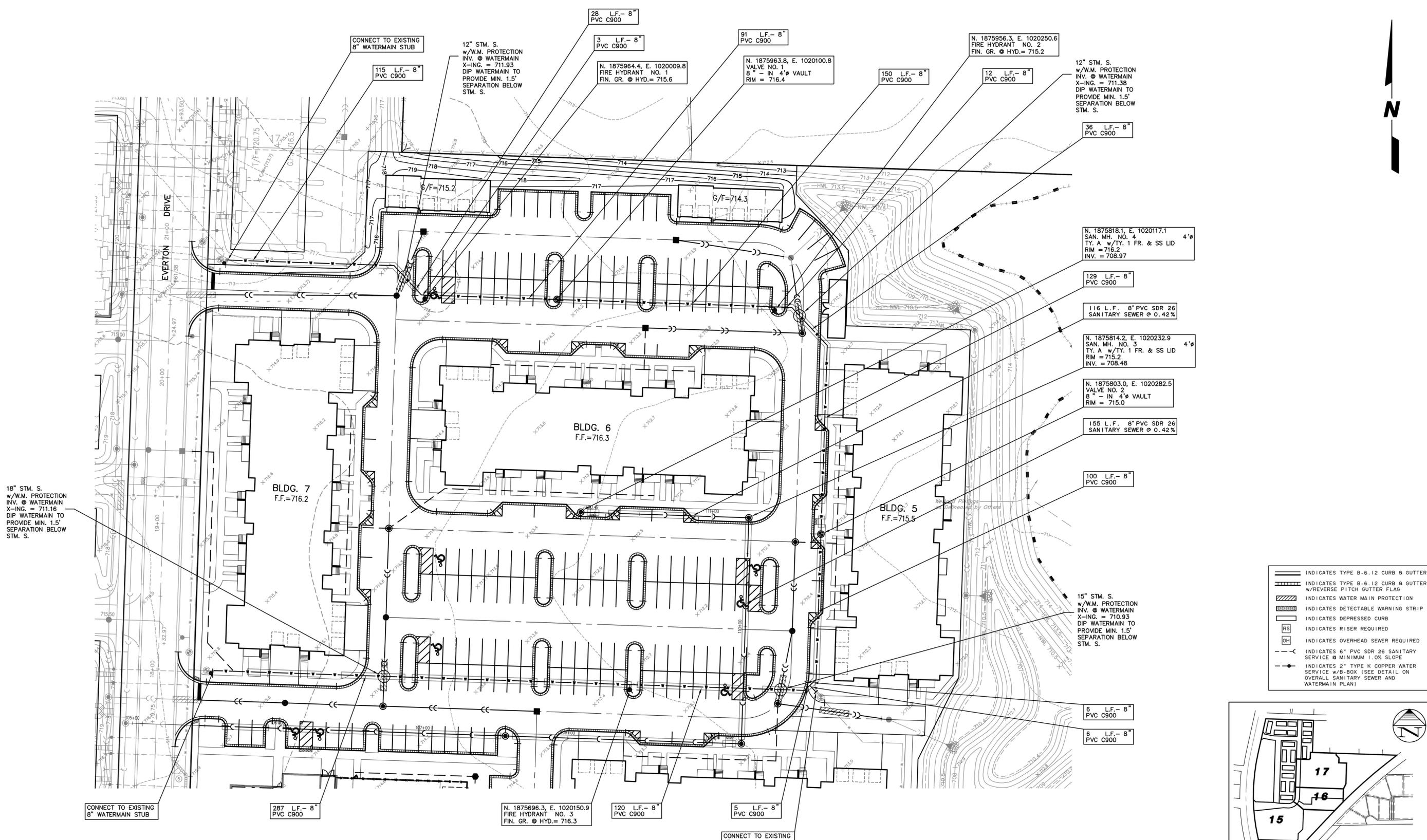
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Aurora, Illinois 60502-9675
Ph: 630.862.2100 Fax: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

NO.		DATE		DESCRIPTION	

**SANITARY SEWER AND WATERMAIN PLAN
EVERTON APARTMENTS**

FILE NAME: APT SANWAT	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'	16 of 20

PLOT FILE CREATED: 2/5/2019 1:20 PM BY: JEFF. CEBULIA DRAWING LAST SAVED: 2/4/2019 11:33 AM BY: JEFF. CEBULIA DRAWING PATH: F:\243014\DWG\ENG\DRAWINGS\FINAL\DRAWINGS\APARTMENTS\APT SANWAT.DWG



18" STM. S.
 w/W.M. PROTECTION
 INV. @ WATERMAIN
 X-ING. = 711.16
 DIP WATERMAIN TO
 PROVIDE MIN. 1.5'
 SEPARATION BELOW
 STM. S.

CONNECT TO EXISTING 8" WATERMAIN STUB

287 L.F. - 8" PVC C900

N. 1875696.3, E. 1020150.9
FIRE HYDRANT NO. 3
FIN. GR. @ HYD. = 716.3

120 L.F. - 8" PVC C900

5 L.F. - 8" PVC C900

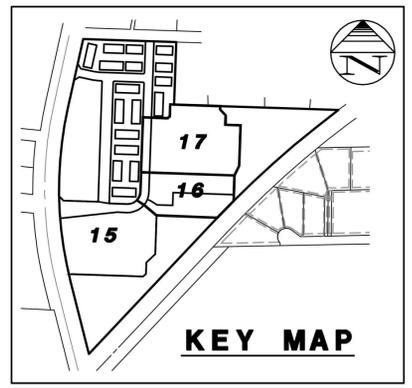
CONNECT TO EXISTING 8" WATERMAIN STUB

15" STM. S.
w/W.M. PROTECTION
INV. @ WATERMAIN
X-ING. = 710.93
DIP WATERMAIN TO
PROVIDE MIN. 1.5'
SEPARATION BELOW
STM. S.

6 L.F. - 8" PVC C900

6 L.F. - 8" PVC C900

- INDICATES TYPE B-6, 12 CURB & GUTTER
- INDICATES TYPE B-6, 12 CURB & GUTTER w/REVERSE PITCH GUTTER FLAG
- INDICATES WATER MAIN PROTECTION
- INDICATES DETECTABLE WARNING STRIP
- INDICATES DEPRESSED CURB
- INDICATES RISER REQUIRED
- INDICATES OVERHEAD SEWER REQUIRED
- INDICATES 6" PVC SDR 26 SANITARY SERVICE @ MINIMUM 1.0% SLOPE
- INDICATES 2" TYPE K COPPER WATER SERVICE w/B-BOX (SEE DETAIL ON OVERALL SANITARY SEWER AND WATERMAIN PLAN)



**SEE SHEET 18
FOR PROFILES OF
SANITARY SEWER**

PREPARED FOR:
 ATLANTIC REALTY PARTNERS
 3500 LENNOX ROAD
 SUITE 1250
 ATLANTA, GA 30326



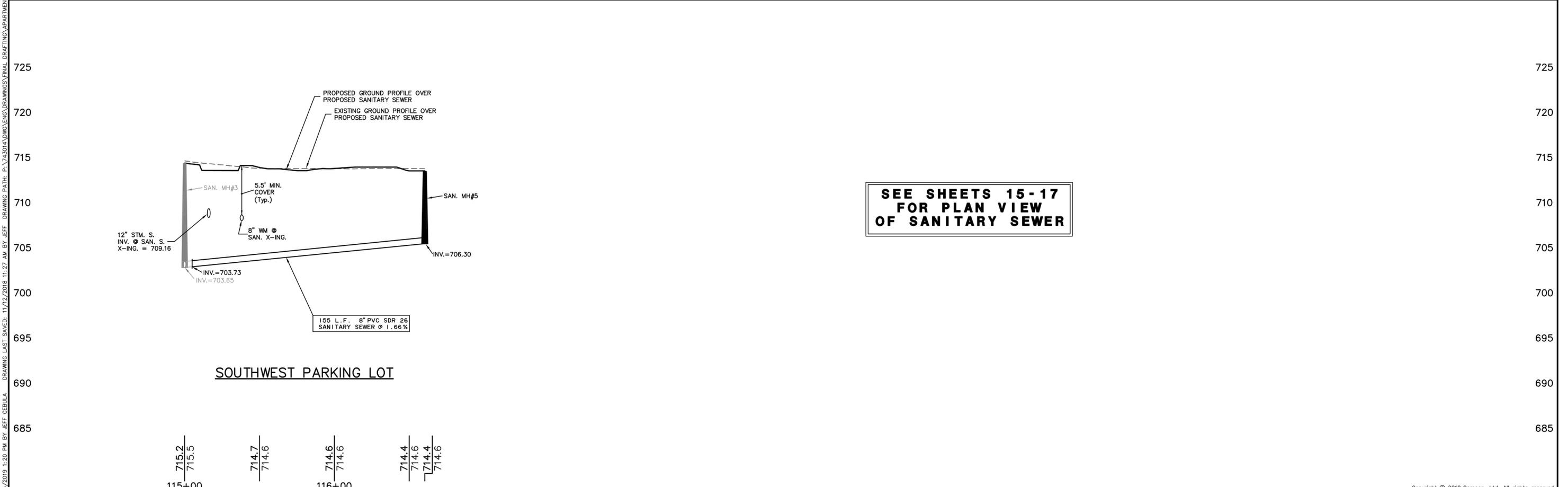
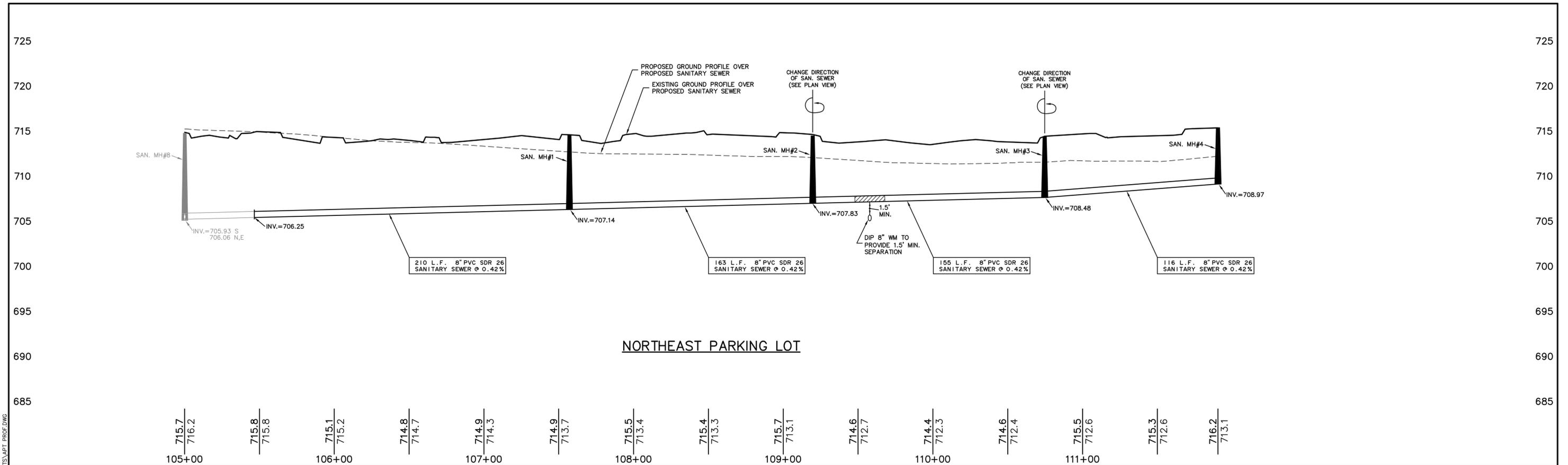
PREPARED BY:
CEMCON, Ltd.
 Consulting Engineers, Land Surveyors & Planners
 2280 White Oak Circle, Suite 100
 Aurora, Illinois 60502-9675
 Ph: 630.862.2100 Fax: 630.862.2199
 E-Mail: cadd@cemcon.com Website: www.cemcon.com

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

**SANITARY SEWER AND WATERMAIN PLAN
 EVERTON APARTMENTS**

FILE NAME: APT SANWAT	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'	17 of 20

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**SEE SHEETS 15-17
FOR PLAN VIEW
OF SANITARY SEWER**

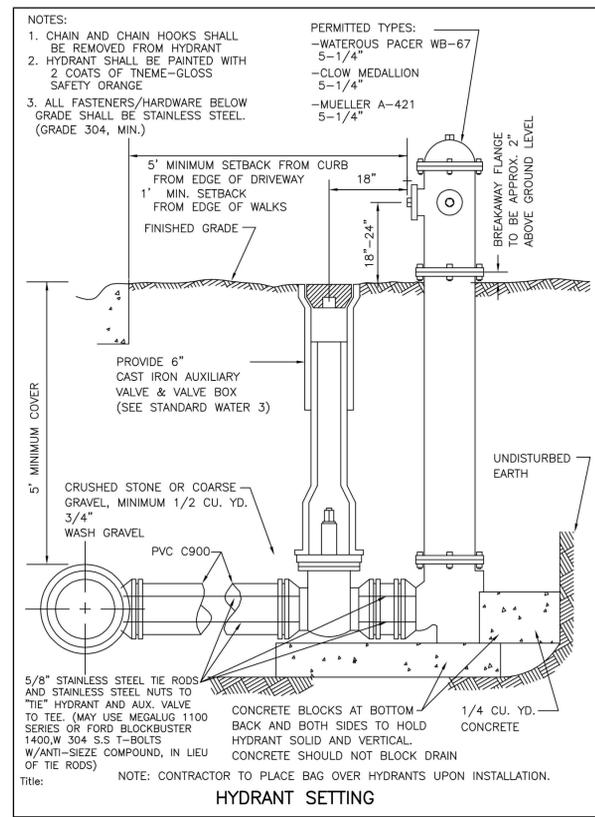
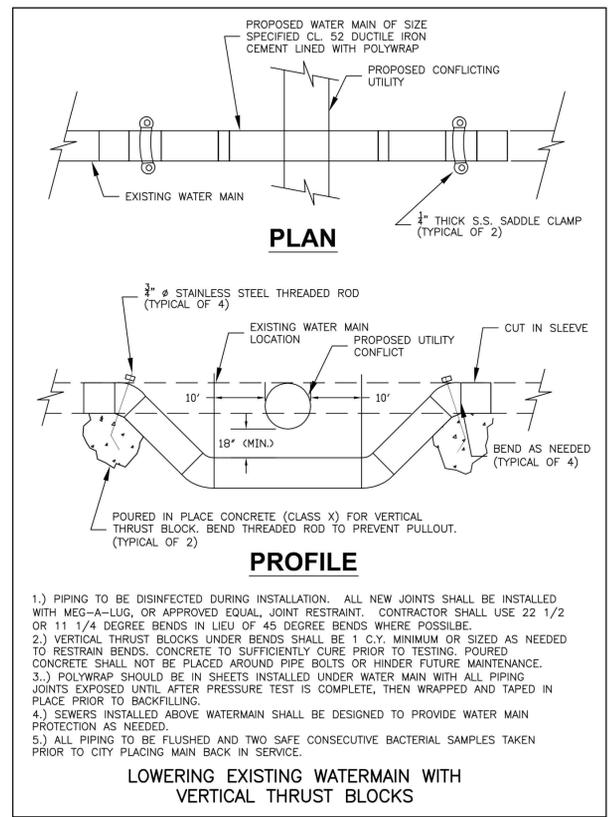
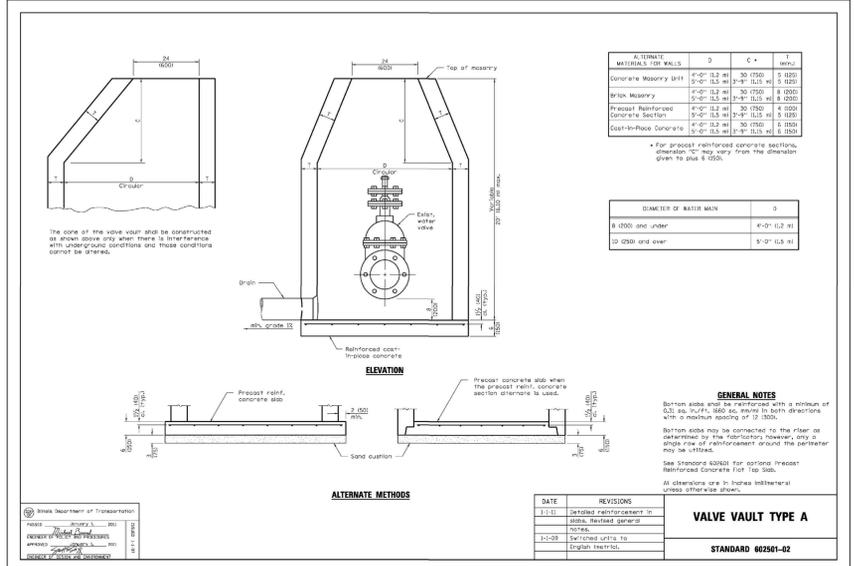
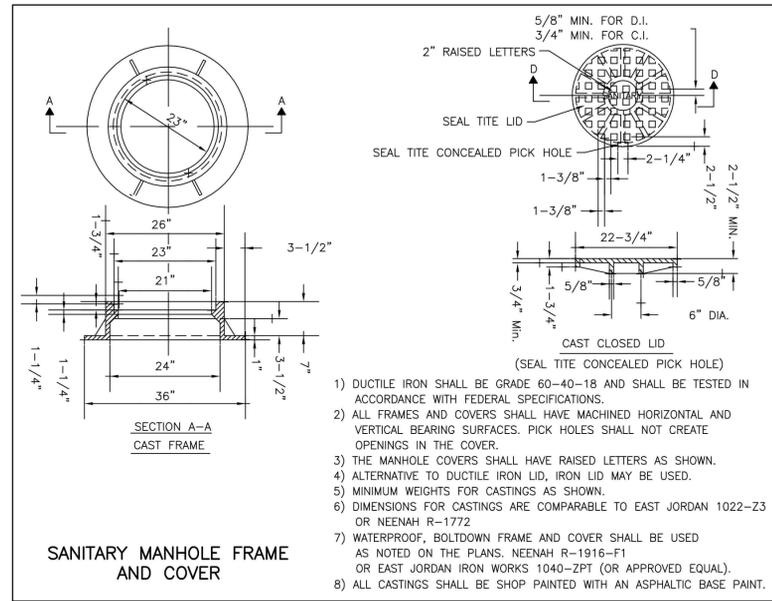
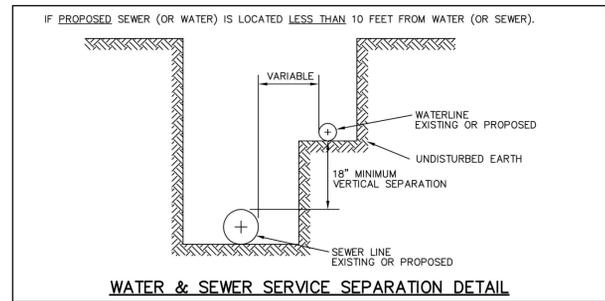
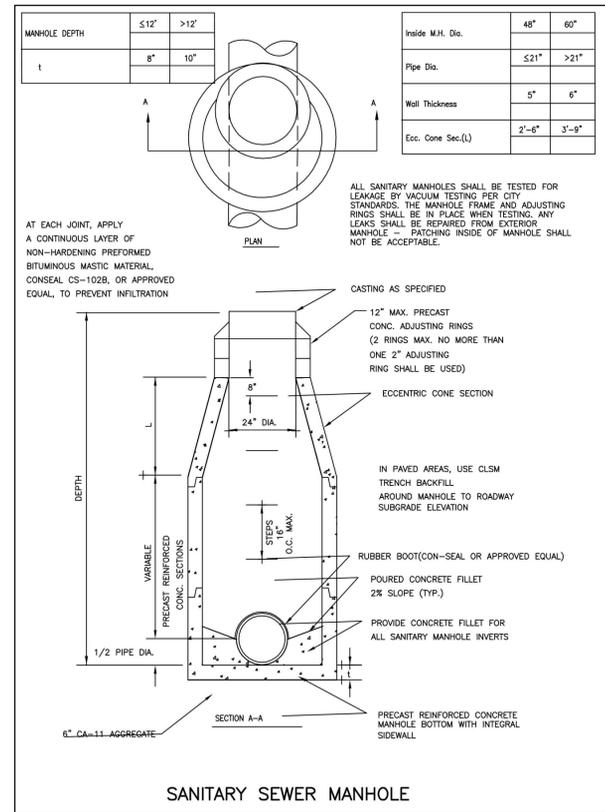
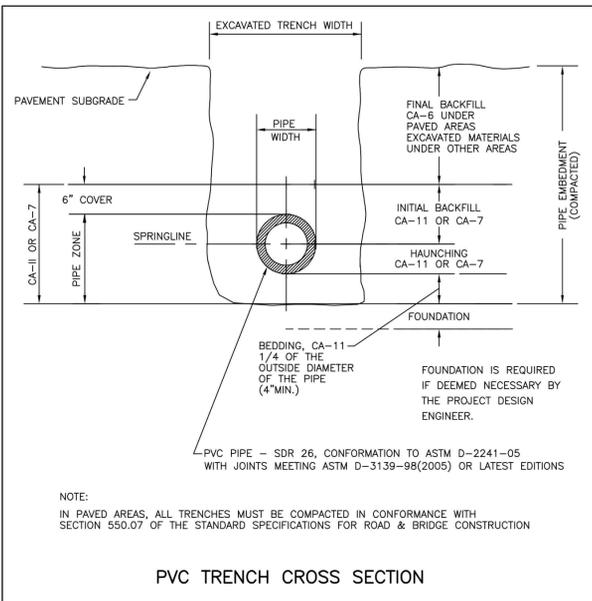
PREPARED FOR:
ATLANTIC REALTY PARTNERS
3500 LENNOX ROAD
SUITE 1250
ATLANTA, GA 30326

PREPARED BY:
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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SANITARY SEWER PROFILES				
EVERTON APARTMENTS				
FILE NAME: APT PROF	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = 30'H., 5'V.	18 of 20

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3500 LENOX ROAD
SUITE 1250
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REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

SANITARY SEWER AND WATERMAIN CONSTRUCTION DETAILS					
EVERTON APARTMENTS					
FILE NAME: APT DETAILS	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO.	
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = N.T.S.	19 of 20	

PLOT FILE CREATED: 2/5/2019 1:20 PM BY: JEFF CEBULA DRAWING LAST SAVED: 2/4/2019 11:39 AM BY: JEFF CEBULA DRAWING PATH: P:\743014\DWG\ENG\DRAWINGS\FINAL\DRAWING\APARTMENTS\APT DETAILS.DWG

R-4342 Ditch Grate, Stool Type
Light Duty

R-3065-L Combination Inlet Frame, Grate, Curb Box
Heavy Duty

R-3275 Combination Inlet Frame, Grate, Curb Box
Heavy Duty

Available with barred curb box.

R-4340 Series Round Beehive Grate
Light Duty

Catalog No.	O Dia.	O.D. Lugs	Dia. B.H.V.	Ht. B.H.V.	No. Lugs	Size Bars	Size Op.	Pipe Size
R-4340-A	34	26 1/4	23 7/8	0	1	1 1/2	1	24
R-4340-B	33	23	23	3	6	2	1 1/2	24
R-4340-C	33	29	23	5 3/4	4	1	1 1/4	24
R-4340-E	33	28	25	5	4	1	1	24
R-4340-F1**	25 1/2	21 3/4	17	3	4	1	1	18
R-4340-G**	18	19	3	3	3	1 3/4	2	15
R-4340-H	25	15	17	3	3	1 5/8	1 3/4	12

R-2502 Inlet Frame, Grate
Heavy Duty

MANHOLE TYPE A
STANDARD 60201-03

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

INLET - TYPE A
STANDARD 60201-04

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

PRECAST REINFORCED CONCRETE FLARED END SECTION
STANDARD 60201-05

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

CATCH BASIN TYPE A
STANDARD 60201-02

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

INLET - TYPE B
STANDARD 60201-03

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

FRAME AND LIDS TYPE 1
STANDARD 60001-04

ALTERNATE MATERIALS FOR WALLS	D	C	INCH
CONCRETE MASONRY UNIT	4'-0"	12'-0"	5.000
BRICK MASONRY	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE SECTION	4'-0"	12'-0"	5.000
CAST-IN-PLACE CONCRETE	4'-0"	12'-0"	5.000
PRECAST REINFORCED CONCRETE	4'-0"	12'-0"	5.000

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PREPARED FOR:
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3500 LENOX ROAD
SUITE 1250
ATLANTA, GA 30326



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REVISIONS		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

DRAINAGE STRUCTURE DETAILS				
EVERTON APARTMENTS				
FILE NAME: APT DETAILS	DSGN. BY: MAM	JOB NO.: 841.001	FLD. BK./PG.: ---	SHEET NO. 20 of 20
DIR: 743014	DRN. BY: JGC	DATE: 02-05-19	SCALE: 1" = N.T.S.	

EXHIBIT C

FINAL PHASE II PUD DOCUMENTS

1. **Final Site Development Plans**, prepared by Cemcon, Ltd., and dated December 14, 2018 (See Exhibit B)
2. **Phase II Landscape Plan**, consisting of three sheets, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
3. **Autoturn Exhibit**, consisting of one sheet, prepared by Cemcon, Ltd., and dated February 4, 2019.
4. **Architectural Plans, Specifications and Details**, consisting of 29 sheets, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
5. **Typical Building Elevations**, consisting of two sheets, prepared by HKM Architects Planners, Inc., and dated March 6, 2019.
6. **Apartment Light Fixture Features and Specifications**, consisting of two pages, prepared by Lithonia Lighting, and dated March 6, 2014.
7. **Clubhouse Material and Elevation**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated March 7, 2019.
8. **Clubhouse Perspectives**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated February 22, 2018.
9. **NE and SW Geometric Striping Signage Plans**, consisting of two sheets, prepared by Cemcon, Ltd., undated, and submitted to the City on March 8, 2019.
10. **Clubhouse Site Plan Details**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
11. **Clubhouse Floor Plans and Roof Plans**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
12. **Building A Third Floor Plan and Roof Plan**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
13. **Building B Third Floor Plan and Roof Plan**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated January 31, 2019.
14. **Screening Cityscapes Brochure**, consisting of two pages, prepared by Envisor, undated, and submitted to the City on March 8, 2019.
15. **Site Lighting, Parking Fixtures, Cuts**, consisting of one sheet, prepared by HKM Architects Planners, Inc., and dated March 6, 2019.
16. **Snow Storage Plan**, consisting of two sheets, prepared by Cemcon, Ltd., undated, and submitted to the City on March 8, 2019.

17. **Landscape Plan**, consisting of three sheets, prepared by HKM Architects Planners, Inc., dated January 31, 2019.
18. **Everton Apartments Site Lighting, Photometrics**, consisting of one sheet, prepared by Force Partners, and dated March 11, 2019.
19. **Everton Reserve Apartments Solar Statement**, consisting of five pages, dated August 20, 2018.
20. **SW Geometric Striping Signage Plan**, consisting of one sheet, prepared by Cemcon, Ltd., submitted to the City on March 8, 2019.

Full-size and complete versions of the Final Phase II PUD Documents are available for review at the City of Warrenville City Clerk's office and Community Development Department. All documents listed in this Exhibit C (regardless of whether the document itself is attached to this Ordinance) shall be deemed incorporated by reference, and made a part of, this Ordinance. All documents listed in this Exhibit C are subject to such further revision as may be required to conform to the conditions stated in Section 4 of this Ordinance.

EXHIBIT D

ENGINEERING REVIEW MEMO



City of Warrenville
3S258 Manning Avenue
Warrenville, IL 60555

(630) 836 3050 tel
(630) 393 1531 fax
www.warrenville.il.us



ENGINEERING RESOURCE ASSOCIATES
3s701 West Avenue, Suite 150
Warrenville, Illinois 60555
Tel. (630) 393-3060

MEMORANDUM

Date: March 22, 2019

To: Mike May, PE
Project Manager
CEMCON

From: Kristine Hocking, P.E., CFM
Senior Civil Engineer
City of Warrenville

Mike Maslowski, P.E., CFM
Project Engineer
ERA

Erin Pande
Ecological Services Director
ERA

Re: Everton Apartments
Illinois Route 59 and Duke Parkway
Final Engineering Plan Review

We have completed our first review of final engineering for the proposed Everton Apartments portion of the overall Everton subdivision development with regards to the DuPage County Stormwater and Flood Plain Ordinance, as well as Warrenville's Subdivision Control Ordinance. We have reviewed the following documents related to this project:

1. "Final Site Development Plans for Everton Apartments," 21 Sheets, dated March 13, 2019, prepared by CEMCON, LTD.
2. "Final Landscape Plan" 3 sheets, dated January 31, 2019, prepared by HKM Architects and Planners, Inc.
3. "Everton Apts Site Lighting," 1 Sheet, dated March 11, 2019, prepared by Force Partners.
4. "Site Lighting – Apartments," 1 Sheet, dated March 6, 2019, prepared HKM.
5. Plat of Easement, 2 sheets, dated March 19, 2019, prepared by CEMCON, LTD.
6. Comment response letter, dated March 13, 2019, prepared by CEMCON, LTD.

ENGINEERING SUMMARY

ACCESS: The site is located on the east side of IL RT-59 just south of Albright Street and north of the Prairie Path. There are four vehicle access points proposed from Everton Drive. One sidewalk pedestrian connection is proposed with the Batavia Branch of the Illinois Prairie Path (DuPage County Highway - 47). The path is under the jurisdiction of DuDOT and a permit will be required for any proposed work in their right-of-way.

GRADING: In existing conditions, the site drains generally from west to east. The Applicant has stated that in existing conditions there are three discharge points from the site; one from the onsite

depressional area at the north, one to the south via culverts under the Prairie Path towards the unnamed tributary to Ferry Creek, and one towards the northeast along the north side of the Prairie Path towards Ferry Creek. The site drainage from the disturbed area is handled by three detention facilities throughout the site that are proposed as part of the overall Everton subdivision.

PERMITS: A City of Warrenville Stormwater and Flood Plain Certification is required. City of Warrenville Building Permits will be required as each unit is constructed. A Notice of Intent (NOI) must be submitted to the Illinois Environmental Protection Agency (IEPA) before the start of construction and a copy should be provided to the City for our records. IEPA permits are required for the proposed sanitary sewer and water main improvements for this project.

STORMWATER DETENTION: The entire 32.9-acre Everton subdivision will be developed, and the proposed improvements will exceed 25,000 SF of new impervious area, thus site runoff storage is required in accordance with the DuPage County Countywide Stormwater and Flood Plain Ordinance (CSFPO). The total discharge from onsite areas shall be restricted to 3.29 cfs based on the allowable release rate of 0.1 cfs/acre of disturbed area for all tailwater conditions to determine the required site runoff storage volume. Additional volume was provided on the subject property as part of the Duke Parkway/Route 59 Improvements completed last year. These items are addressed on the overall Everton development plans and referenced within the Everton Apartments development plans.

EROSION CONTROL: Final Engineering plans include an erosion control plan, depicting proposed sediment and erosion control measures. The City's revised standard erosion control notes should be incorporated into the plans (see attached). Note that the City requires a filter bag on the outlet hose for all pumped water.

BEST MANAGEMENT PRACTICES: Post Construction Best Management Practices (PCBMPs) for Water Quality are required for this development. In lieu of providing volume control for PCBMPs, the Applicant is providing native vegetated wetland bottom site runoff storage basins. Each site runoff storage facility includes a native wetland bottom and a detailed design and planting plan for the PCBMPs. These items are addressed on the overall Everton development plans and referenced within the Everton Apartments development plans.

SPECIAL MANAGMENT AREAS: Regulatory mapped Zone A floodplain exists at multiple locations onsite. Compensatory storage is required for all floodplain fill at a rate of at least 1.5 times the floodplain volume filled. The Applicant determined the BFE(s) of the impacted Zone A floodplain areas using a FEMA-accepted model and methodology. Compensatory storage was provided for all fill below the determined BFE(s). A CLOMR was approved by FEMA to allow the applicant to perform earthwork.

The Applicant has stated in the report that there are wetlands present onsite. There is an existing 0.367-acre wetland (named 'wetland 1' in report) located on-site near the northern property limits. There is a 0.968-acre existing wetland (named 'wetland 2' in report) located on the east portion of the property and partly offsite. There is also an existing farmed wetland onsite with an area of 0.087-acres (named 'farmed wetland 1'). Impacts are proposed to wetland 1 only, and are proposed

to be mitigated onsite. These items are addressed on the overall Everton development plans and referenced within the Everton Apartments development plans.

SEWER & WATER: The Applicant is proposing to connect to the watermain and sanitary sewer proposed in the overall Everton development plans.

SITE LIGHTING: The site uses 3.5 foot, 11 watt LED light bollards along apartment building entrances on Everton Drive, 18 foot, 99 watt LED light poles within the parking lots, and 10 foot, 48 watt LED pedestrian light poles in front and around the clubhouse and west of Building 2. 35 watt LED wall lights are proposed at the 1st floor entrances and garages on the apartment buildings.

The average illumination provided is approximately 0.66 foot-candles for NE parking lot (Building 4-7) and 0.77 for the SW parking lot (buildings 1-3). The minimum average for low activity parking lots is 0.5 foot-candles and the maximum is 1.5 foot-candles and the site complies with this requirement. There are some areas that do not meet the minimum average of 0.2 foot candles. These areas should be addressed to meet these requirements.

REVIEW COMMENTS

The Everton Apartments Final Site Development Plans have been stamped “APPROVED WITH CONDITIONS” and the following comments should be addressed:

1. Add the list of all permits required, the date and an extra column for approval numbers (if received already) listed on the Cover Sheet.
2. Show on the existing conditions sheet an indication of the limits of the apartment’s portion of the site with hatching, border, etc. If there are any demolition activities within the apartment portion of the site, denote what they are and indicate that they will be removed as part of the townhome plan set.
3. Inlet No. 59 appears to be located directly on top of the proposed sanitary sewer along the south side of Everton Drive. Relocate storm inlet as needed to avoid conflict.
4. Verify the cross-slope produced between edge of sidewalk and proposed rim of sanitary structure S-5 – it appears to be greater than 2% - revise rim as necessary to meet ADA cross-slope requirements.
5. Utility crossing information shall be provided for all crossings.
6. Revise the Plat of Easement per the attached markup. Show all sanitary and watermain in an exclusive “City Easement”. Overland flood routes from the parking areas to the SWM basins should be shown in a “Drainage and Utility Easement”. All existing easements on the Townhome Plat should be shown assuming that Plat is recorded prior to this Plat.

7. Provide a 'Dry Utility Plan' showing the approximate locations of ComEd, Nicor, and other utility lines.
8. Update the photometric plan to provide a minimum of 0.2 foot-candles throughout the parking lot. Add the uniformity ratio.
9. Consider adding timing shutoff on parking lot lighting as noted in the Preliminary PUD conditions.
10. Reduce the temperature of the light to 3000-3500K on the parking lot fixtures and wall mounted lights. Provide details regarding the fixtures, foundations, control equipment and wiring.
11. Obtain Outside Agency Permits:
 - a. Provide DuDOT approval.
 - b. Provide IEPA permit approvals (Sanitary, Watermain, NPDES).
 - c. Submit an EOPCC for all Public Improvements per Subdivision Control Ordinance

The Everton Apartments Final Landscape Plan has been stamped “**APPROVED WITH CONDITIONS**” and the following comments should be addressed during the building permit process:

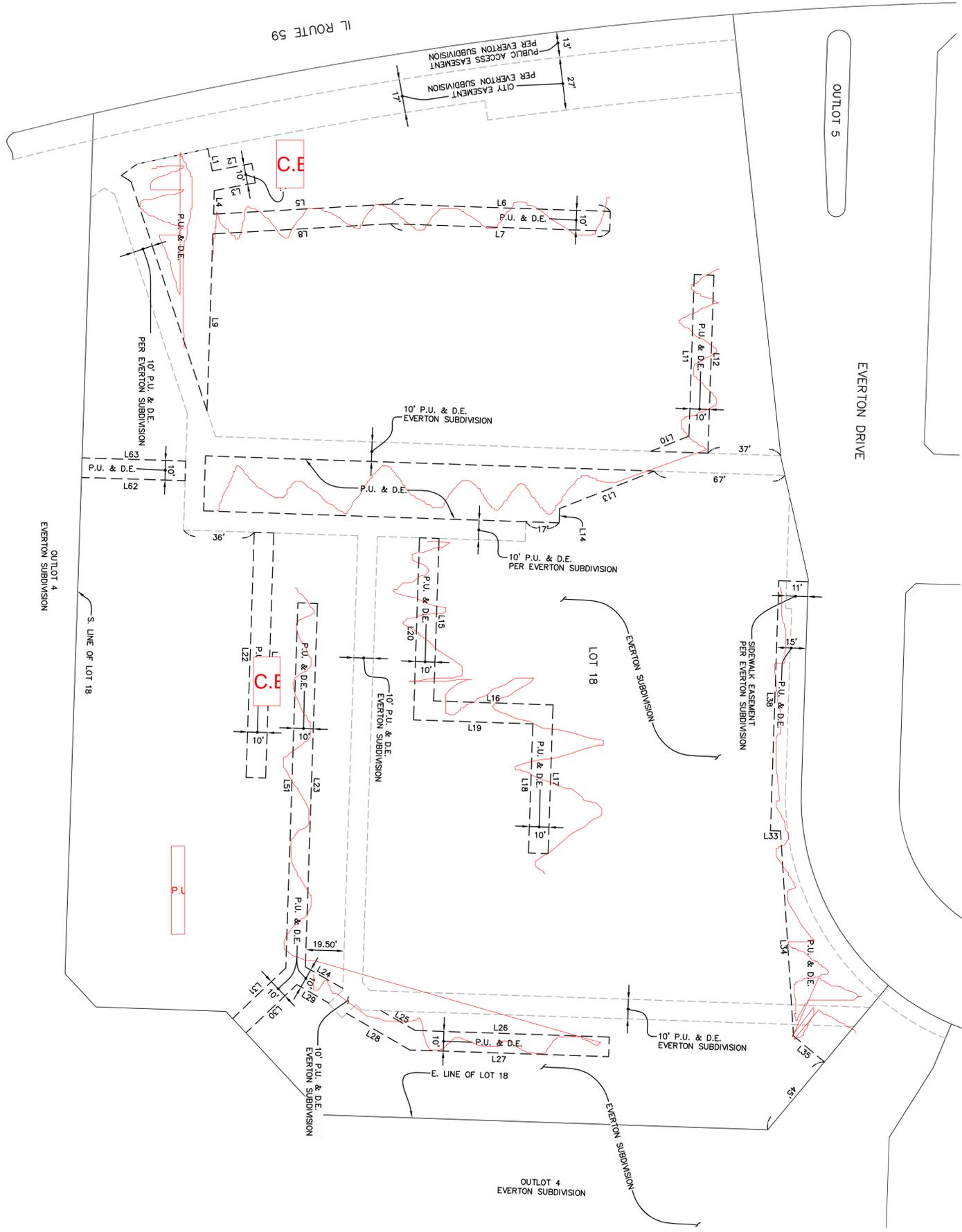
1. See Staff Report for comments.

Fees – Required Prior to Recording of Plat

1. Submit an EOPCC for all Public Improvements per Subdivision Control Ordinance.
2. Stormwater Management Review Fee: \$10,000 is required per City code section 8-5-3. **This was paid during the overall Everton development plan submittal.**
3. Stormwater Inspection Fee: **\$500 plus 2.5% of EOPCC for Public Improvements** (Stormwater Management, Storm Sewers (public) & Erosion Control).
4. Final Engineering Review and Inspection: **Based upon the EOPCC for Public Improvements (Non-Stormwater Management/Erosion Control).**
5. Development Security: **110% of the total EOPCC for Public and Stormwater Improvements. This can be a cash bond, Letter of Credit, or a Performance and Payment Surety Bond.**

LEGEND

- JUNCTION LOT LINE (Light Solid Line)
- PLACING EASEMENT LINE (Short Dashed Line)
- EASEMENT LINE (Thin Line)
- EASEMENT LINE (Thin Line) (Short Dashed Line)



Add City Easement Provisions, Public Utilit

LINE TABLE FOR SHEET 2

LINE	BEARING	LENGTH
L1	S 78°10'52" W	11.52'
L2	N 10°35'45" W	20.44'
L3	N 10°35'45" W	21.32'
L4	S 88°05'14" E	12.03'
L5	N 03°14'08" W	90.58'
L6	N 01°54'46" E	111.88'
L7	N 01°54'46" E	91.48'
L8	S 88°05'14" E	89.94'
L9	N 21°34'14" W	20.93'
L10	S 88°05'14" E	88.89'
L11	S 88°05'14" E	85.69'
L12	S 88°05'14" E	51.99'
L13	S 88°04'10" E	7.22'
L14	S 88°05'14" E	80.63'
L15	S 88°05'14" E	61.01'
L16	N 01°55'17" E	75.71'
L17	S 88°04'43" E	65.71'
L18	N 88°04'43" W	90.63'
L19	S 01°55'17" W	122.72'
L20	N 88°05'14" W	122.72'
L21	S 88°04'43" E	184.89'
L22	N 88°04'43" W	68.65'
L23	S 88°04'43" E	20.22'
L24	N 29°57'27" E	99.12'
L25	N 01°54'46" E	37.26'
L26	S 01°54'46" W	18.93'
L27	S 29°57'27" W	35.72'
L28	S 43°27'34" E	17.21'
L29	N 43°27'34" W	5.08'
L30	S 88°05'14" E	85.35'
L31	N 01°54'46" E	20.67'
L32	N 86°20'48" E	20.67'
L33	N 40°01'49" E	20.67'
L34	N 86°20'48" E	20.67'
L35	N 40°01'49" E	20.67'

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 PREPARED BY:
 DISC NO.: 743.014 FILE NAME: PLAT OF EASEMENT GRANT
 DRAWN BY: AUB P.D. BK. / PG. NO.: 073/14-17, 52-57
 COMPLETION DATE: 03-19-19 JOB NO.: 841.001
 PROJECT REFERENCE: 904.267
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EXHIBIT E

SOLAR ENERGY LETTER



August 20th, 2018

Subject: **Everton Reserve Apartment
Statement on Solar**

Dear Mayor and City Councilmen,

On behalf of Everton Reserve Apartments, I am proud to announce our commitment to become the first multi-family development in the area to incorporate renewable energy in the form of solar.

Through extensive research, and analysis, we are integrating a PV Array on the roof of our 7000sqft Clubhouse. This array will offset nearly all the energy use of this one building. In addition, we will be installing the backbones, and electrical infrastructure, in all 7 apartment buildings necessary for a rapid deployment of PV Array's on each of those buildings roofs. The estimated output from all the PV Array's, if fully implemented, could offset close to 90%, or more, of Everton Reserve's common energy use.

The reason we have committed to installing the infrastructure, and not the PV panels on the apartment buildings is due to the unknown value of SREC's (Solar Renewable Energy Credit's), and the inability to accurately forecast their value at the time of construction. Having the infrastructure in place will allow us in the future to evaluate the SREC's, and if sufficient, expand the PV build-out. This will also make any underwriting for this expansion viable by locking in SREC rates for all 7 PV Arrays, instead of having different rates, and thus different return periods for each PV Array.

The following pages reference a feasibility study we commissioned that looked at a PVArray build-out on all 8 buildings at once.

Sincerely,

Matthew Schossow
Development Manager

ATLANTIC REALTY PARTNERS, INC

EXHIBIT F

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The City of Warrenville, Illinois ("**City**");

WHEREAS, M/I Homes of Chicago, LLC, a Delaware limited liability company ("**M/I Homes**"), is the owner of that certain real property consisting of 32.8 acres, located at the southeast corner of Route 59 and Ivan Albright Street ("**Property**"); and

WHEREAS, on August 20, 2018, the City Council adopted Ordinance No. 2018-36, granting various preliminary approvals for the redevelopment of the Property with (i) 17 townhouse buildings containing a total of 89 townhouse units (each a "**Townhouse Building**"); (ii) seven three-story apartment buildings with a total of 259 units (each an "**Apartment Building**"); (iii) a community clubhouse and pool complex ("**Club House**"); (iv) detached garage buildings (each a "**Detached Garage**"); (v) surface off-street parking areas; (vi) a 3.52-acre commercial area; (vii) a stormwater detention facility/wetland mitigation improvements; and (viii) associated public rights-of-way (collectively, (i) through (viii) are the "**Proposed Development**"); and

WHEREAS, M/I Homes proposed that the Proposed Development be constructed in four phases as follows: (i) the overall site work, including mass grading, perimeter landscape improvements, construction of all public infrastructure, the Stormwater Facilities, and the proposed public and private roadways, bike path, and related improvements (collectively, the "**Site Work Phase**"); (ii) the Townhouse Buildings ("**Phase I**"); (iii) the Apartment Buildings, Club House, Detached Garages, and surface parking areas ("**Phase II**"); and (iv) the Commercial Area ("**Phase III**"); and

WHEREAS, on March 4, 2019, the City Council adopted Ordinance No. 2019-05 approving: (i) a final planned unit development plan for the entire 32.8-acre Property; (ii) a special use permit for a planned unit development plan for the entire 32.8-acre Property ("**Everton Special Use Permit**"); (iii) a final planned unit development plan for the Site Work Phase; (iv) a special use permit for a planned unit development plan for the Site Work Phase; (v) a final planned unit development plan for Phase I; (vi) a special use permit for a planned unit development for Phase I; and (vii) a final plat of subdivision for the Property ("**Final Plat of Subdivision**"); and

WHEREAS, Warrenville Venture Partners, LLC, a Delaware limited liability company ("**Applicant**"), will be the contract purchaser of that portion of the Property labeled Lot 18 and Lot 19 on the Final Plat of Subdivision, and legally described on Exhibit A to this Ordinance ("**Apartment Parcel**"); and

WHEREAS, Applicant desires to develop Phase II of the Proposed Development on Apartment Parcel through its managing member, Warrenville Realty Partners, LLC, a Georgia limited liability company ("**Developer**"); and

WHEREAS, in order to construct Phase II of the Proposed Development on the Apartment Parcel, pursuant to the applicable sections of the Warrenville Zoning Ordinance ("**Zoning Ordinance**") and the Subdivision Control Ordinance for the City of Warrenville ("**Subdivision Control Ordinance**"), Applicant, with the consent of M/I Homes, filed an application with the City for approval of: a final planned unit development plan for Phase II ("**Final Phase II PUD Plan**");

and (ii) a special use permit for a planned unit development for Phase II (***“Phase II Special Use Permit”***) (collectively, (i) and (ii) are the ***“Requested Approvals”***); and

WHEREAS, Ordinance No. O2019-____, adopted by the City Council on _____, 2019 (***“Ordinance”***), approved the Requested Approvals; and

WHEREAS, Section 8 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Applicant and Developer have filed, within 180 days following the passage of the Ordinance, its unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Applicant and the Developer do hereby agree and covenant as follows:

1. The Applicant and Developer each hereby unconditionally agrees to, accept, and consent to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.

2. The Applicant and the Developer each acknowledges that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, has considered the possibility of the revocation provided for in the Ordinance, and agrees not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right, provided that the notice to the Applicant and Developer required by Section 6 of the Ordinance is given.

3. The Applicant and the Developer each acknowledges and agrees that the City is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the City's granting of the Requested Approvals or its adoption of the Ordinance, and that the City's approvals do not, and will not, in any way, be deemed to insure, the Applicant and the Developer against damage or injury of any kind and at any time.

4. The Applicant and the Developer each hereby agrees to hold harmless and indemnify the City, the City's corporate authorities, and all City elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with (a) the City's review and approval of any plans and issuance of any permits, (b) the City's adoption of the Ordinance granting the Requested Approvals, (c) the development, maintenance and use of its obligations under this Unconditional Consent and Agreement, and (d) the performance by the Applicant and the Developer of their obligations under this Unconditional Consent and Agreement.

[signatures on following page]

WARRENVILLE VENTURE PARTNERS, LLC, a
Delaware limited liability company

By: _____

Its: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 20__.

Notary Public

WARRENVILLE REALTY PARTNERS, LLC, a
Georgia limited liability company

By: _____

Its: _____

SUBSCRIBED and **SWORN** to
before me this _____ day of
_____, 20__.

Notary Public